

DUCT NOTE:
Duct access panels: to comply to SANS 10400 by specialist
Ducts minimum 400 x 600mm

Concrete Roofs:
All parapet walls to slope inwards, to be waterproofed to top of wall.

Floors:
All floors in a kitchen, scullery / laundry or bathroom to be in accordance with SANS 10400 - J

Note:
All stairs:
Treads - 300mm
Risers - 170mm
Concrete staircase to Engineers detail and specification.

Staircase & First Floor Handrails:
1000mm S-Steel handrails, max openings 100mm, to SANS 10400

Lintels above openings:
Soffit heights to be same level as door window in specific room - 2 125mm

RW outlet:
Pipes by specialist. RW Inlet: receive gills to prevent debris blocking outlets.

Levels to be checked on site.
FFL: Min 170mm above NGL
Max 850mm above NGL.

Fire place to comply in term of SANS 10400 Part VY.2
All drainage and ventilation pipes to comply with SANS 10400 Part P.

Gas Installation:
To comply with NBR, by specialist.
Cage for gas bottles to be built, on 170mm plinth with lockable doors and conc. roof.

*** All south & west facing windows on the first floor to be sandblasted (min 80% of the window area).**

Note:
No existing trees on site.

Exterior walls painted, colour to client specification to Estate Guidelines.

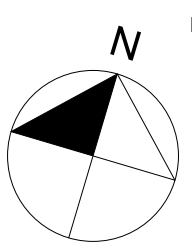
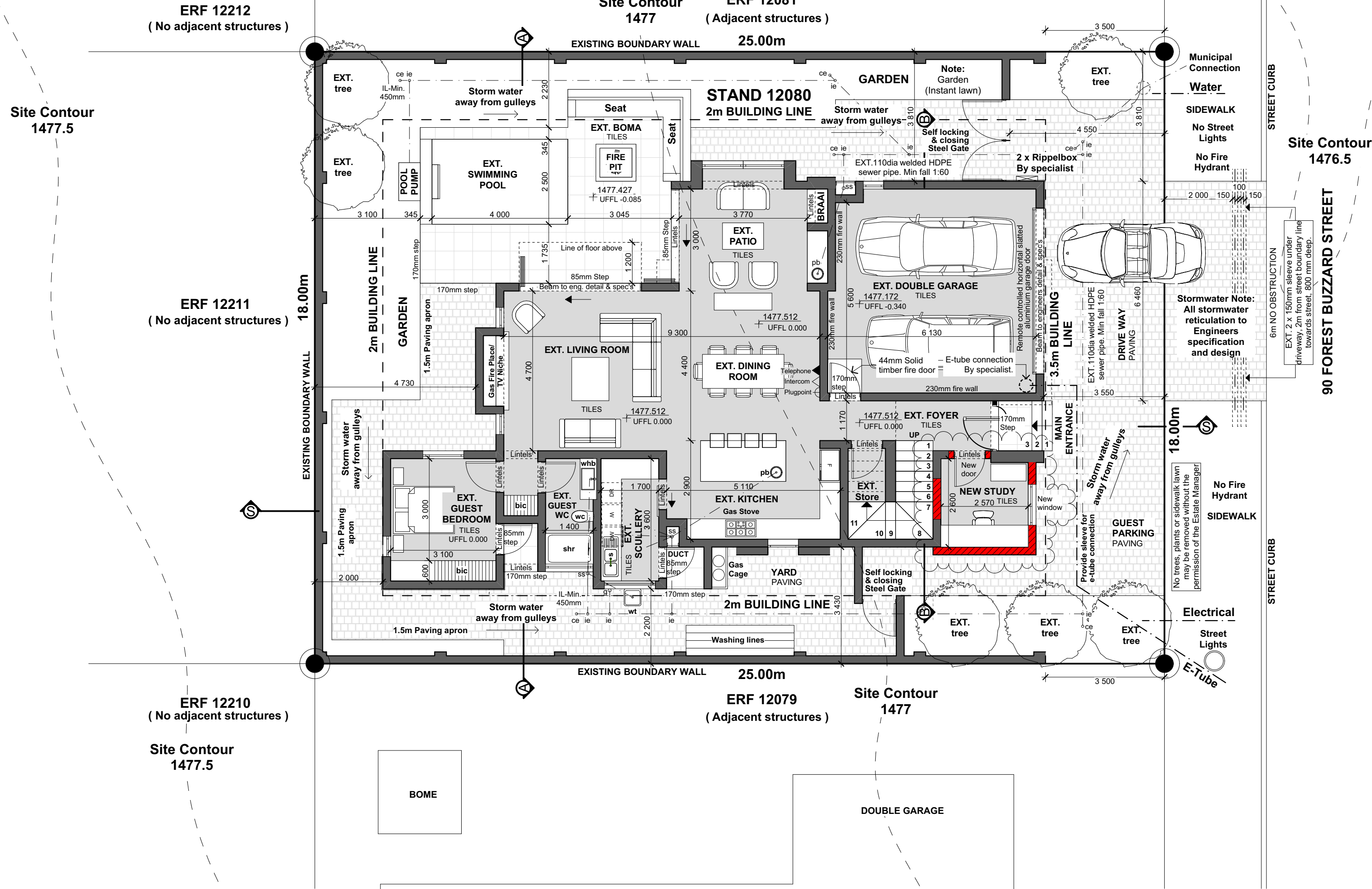
All Solar heating panels / TV aerials / Satellite Dishes to be installed in a well-ventilated position.
All plumbing work is to be fully concealed.
Washing lines is to be installed as per the Guidelines (Not to be visible from street)
All mechanical equipment, incl. swimming pool pump is to be installed and concealed according to the Guidelines.

Flat roofs: Waterproofing is not to be visible and is to receive a layer of stone chip.
A sample or specification of the finishes for all external walls and roofs must be submitted to the appointed architect for approval prior to the application thereof.

Sewer pipes from first floor are to be installed in enclosed internal ducts, min 600mm wide. With openings at AE's only. No fiber-cement boards are accepted.

Storm water Attenuation to be supplied by appointed Engineer.
Direction away from gulleys

The exterior facade of the boundary wall is to be finished in accordance to Guide Lines.

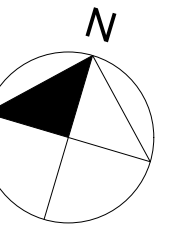
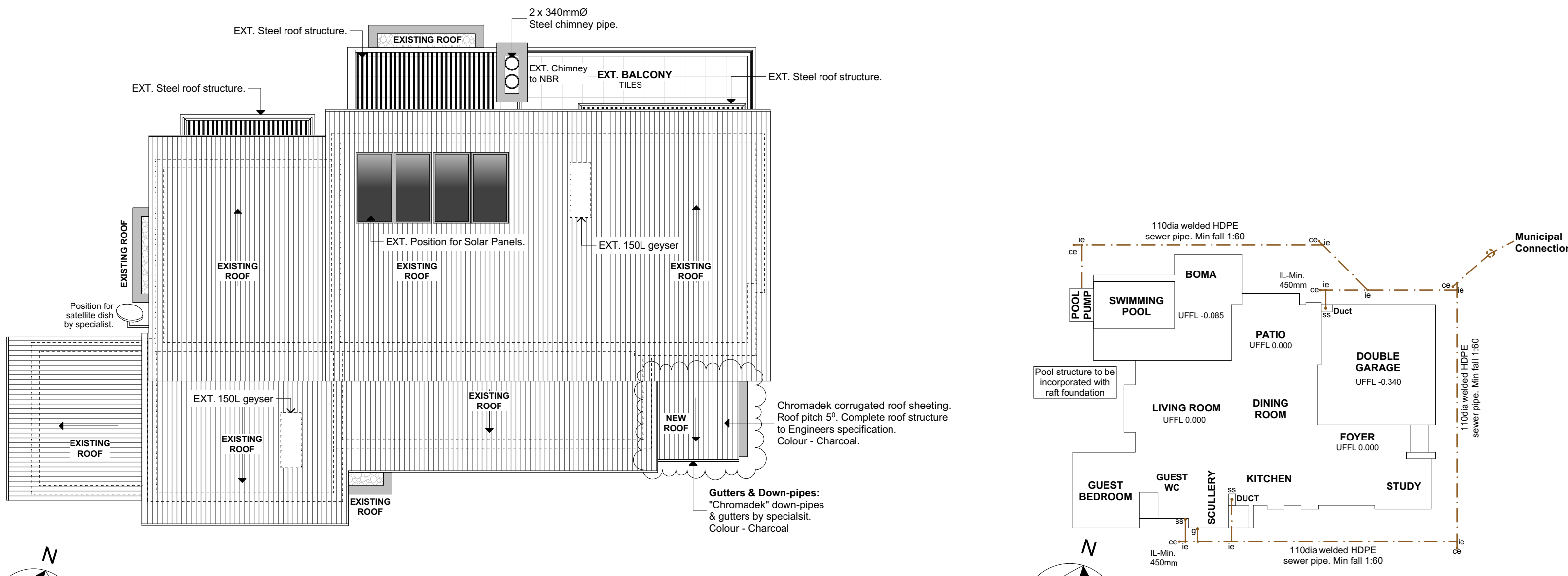


SITE DEVELOPMENT PLAN
SCALE 1:100

AREAS	
EXISTING GROUND FLOOR	- 171.54m ²
NEW ADDITION	- 6.51m ²
TOTAL NEW GROUND FLOOR	- 179.05m²
EXISTING FIRST FLOOR (Excluding Open Balconies)	- 119.17m ²
TOTAL NEW RESIDENCE	- 298.22m²

COVERAGE	
First / Ground Floor Ratio	127.86m ² / 179.05m ²
- 71% (including Double Volume)	
Ground Floor	- 179.05m ²
Site	- 450m ²
Coverage	- 40%

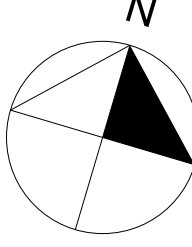
Permitted	Actual
50%	40%



ROOF PLAN
SCALE 1:100

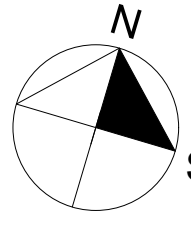
Parapet Walls:
All parapet walls to slope inwards, to be waterproofed to top of wall.

All roofs, except flat concrete roofs, are to receive gutters and rainwater downpipes.

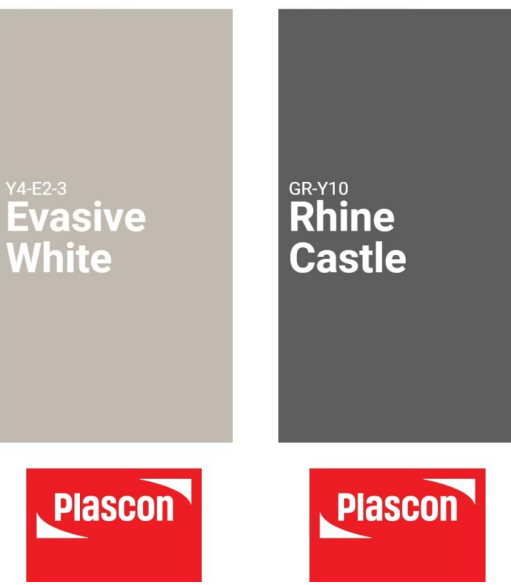
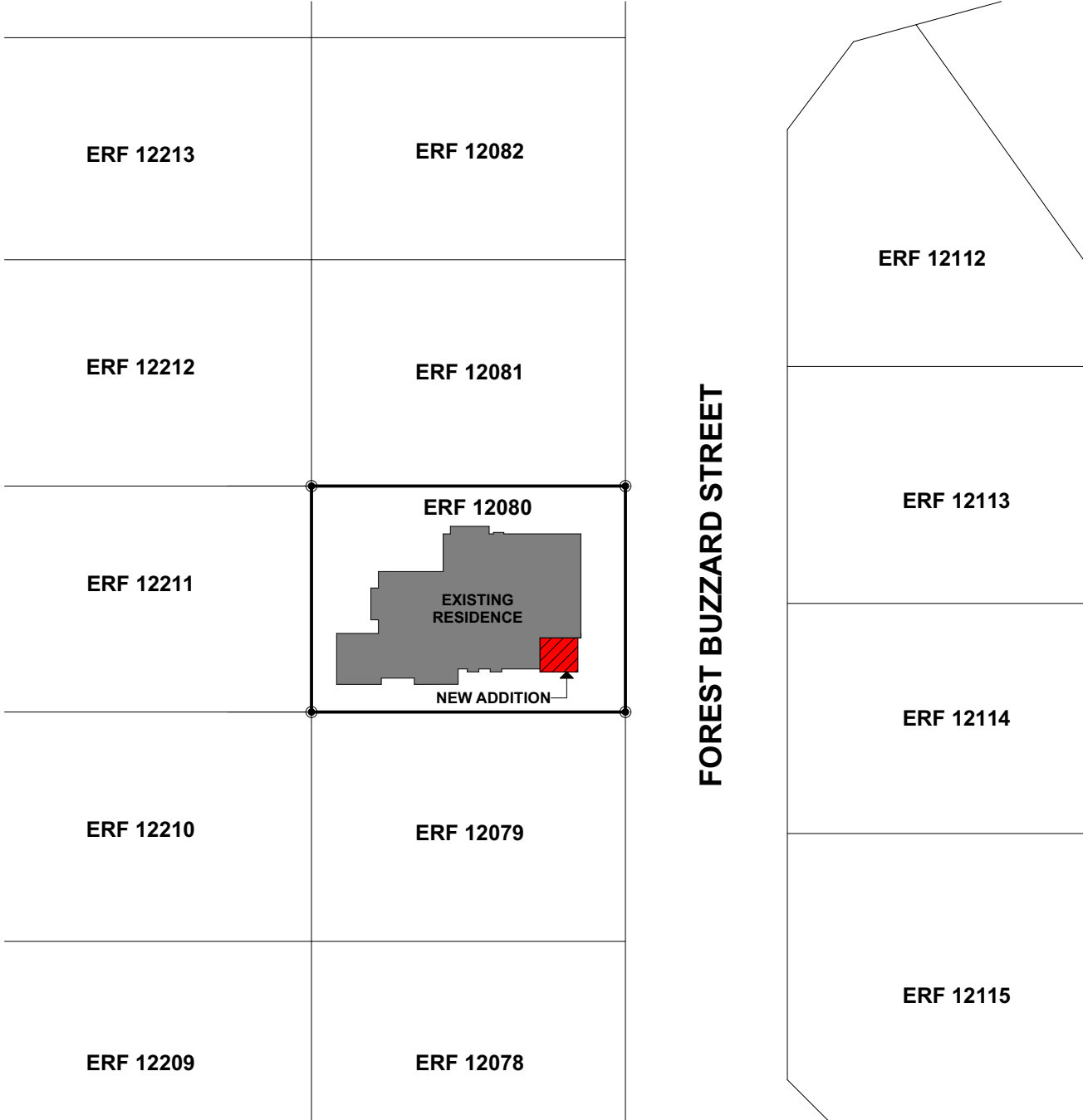


RAFT FOUNDATION PLAN
SCALE 1:200

Re-inforced concrete raft foundation to Engineers specification and detail according to soil conditions



LOCALITY PLAN
SCALE 1:500



GENERAL NOTES

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QUALITY OF MATERIALS AND WORKMANSHIP TO COMPLY WITH THE LATEST RELEVANT CODES AND SPECIFICATIONS OF SANS AND NBR AND THE MINIMUM STANDARDS OF STANDARD PRELIMINARIES (JRC) AND MODEL PREAMBLES FOR TRADES (1999-ASAQS) AND WHERE APPLICABLE, PROJECT SPECIFICATIONS.

CONSTRUCTION NOTES

FOUNDATION:
SANS 10400 - All foundations to be concrete strip foundations, unless otherwise specified on Architects and/or Engineers drawings or specifications

FILLING:
SANS 10400 - Fill to be well compacted in wetted layers of 150mm and according to Engineers specifications and recommendations.

LINTELS:
Precast concrete lintels over all openings, installed according to main specification. All face brick lintels to have reinforcing & curing on props to Engineers specification

DAMP-PROOFING:
SANS 10400 - Install 375 micron USB Green damp-proof membrane to underside of all ground slabs and 375 micron Brickgrip DPC to all walls with min 100mm overlaps at all junctions. Install brickgrip DPC to all window sills.

GROUND SLABS:
85mm Thick concrete ground slabs on fill with damp-proofing as described above. Reinforce ground slabs according to Engineers detail and specification. All expansion joints to be placed in accordance with Engineers specification

BRICKWORK:
SANS 10400 - Bricks to be laid in stretcher bond with joints not exceeding 12mm. All external walls to be 220mm walls, internal walls to be 110mm or as shown on plan.

BRICK REINFORCING:
Brickforce steel wire reinforcing to be installed in every course of foundation brickwork for a minimum of 5 courses and every 3rd course thereafter. Brickforce to be installed in every course below ground slab where brick wall is 110mm only. Brickforce installed over all lintels, unless otherwise specified.

PLASTER WORK:
All internal and external plasterwork to be minimum 10mm thick.

GLAZING:
SANS 10400 - All glazing to be clear unless otherwise specified in Architects details and schedules. Glass thickness according to the following: (unless otherwise indicated)
0.75Sq m - 3mm
1.5Sq m - 4mm
2.25Sq m - 5mm
3.25Sq m - 6mm
Glazing in sliding & folding doors to be 6mm laminated safety glass. Glazing in bathrooms to be opaque unless otherwise specified. All glazing in door panels too to be 6mm laminated safety glass. All sliding doors to have safety markers.

DRAINAGE:
SANS 10400 - Sink, Prep bowl - 40mm dia PVC
Bath, Shower, WBS - 50mm dia PVC
WC - 100mm dia PVC
Vent pipes - 100mm dia UPVC
Stack Pipes - 100mm dia UPVC

All soil pipes to be laid in riversand to fall min. 1:60 all in accordance with local authority regulations. Drains under buildings and/or garden wall to have flexible neo-prene joints. All drains to be placed min. 500mm from building depth of drain to be min. 600mm. No stormwater into drains. All first floor fittings to be supplied with anti-vac valves.

GEYSER DETAIL

20mm metallic tube
Anti-siphon loop
Overflow
GEYSER
Drip tray
Shower
Balanced hot & cold
1000kpa

GULLEY DETAIL

gully
ce
le
150mm pvc sewer pipe at min fall 1:60 to municipal connection

SACAP No: PSAT 20684

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www.voguel.co.za

Client: SkyRock Construction

Project: Proposed new additions for SkyRock Construction, on Stand 12080, 90 Forest Buzzard Street, Fountainbrook Estate, Ext. 118

Drawing: Site Development Plan
Roof Plan
Locality Plan
Raft Foundation Plan
Renderers

Drawing Status:

HOA	Tender	Construction
2025/11/17	Voguel Arc	as shown
Project No: DMR 145	Drawing No: 1/4	Revision No: REV 01

DUCT NOTE:
* Duct access panels to comply to SANS 10400 by specialist.
* Ducts minimum 400 x 660mm

Concrete Roofs:
* All parapet walls to slope inwards, to be waterproofed to top of wall.

Floors:
All floors in a kitchen, scullery / laundry or bathroom to be in accordance with SANS 10400 - J

Note
All stairs:
Treads - 300mm
Risers - 170mm
Concrete staircase to Engineers detail and specification.

Staircase & First Floor Handrails:
1000mm S/Steel handrails, max openings 100mm, to SANS 10400

Lintels above openings:
Soffit heights to be same level as door / window in specific room - 2 125mm

RW outlet:
Pipes by specialist. RW Inlet: receive grills to prevent debris blocking outlets.

Levels to be checked on site.
FFL: Min 170mm above NGL
Max 850mm above NGL

Fire place to comply in term of SANS 10400 Part VV.2
All drainage and ventilation pipes to comply with SANS 10400 Part P.

Gas Installation:
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Cage for gas bottles to be built, on 170mm plinth with lockable doors and conc. roof.

All south & west facing windows on the first floor to be sandblasted (min 80% of the window area).

Note:
No existing trees on site.

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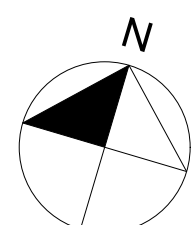
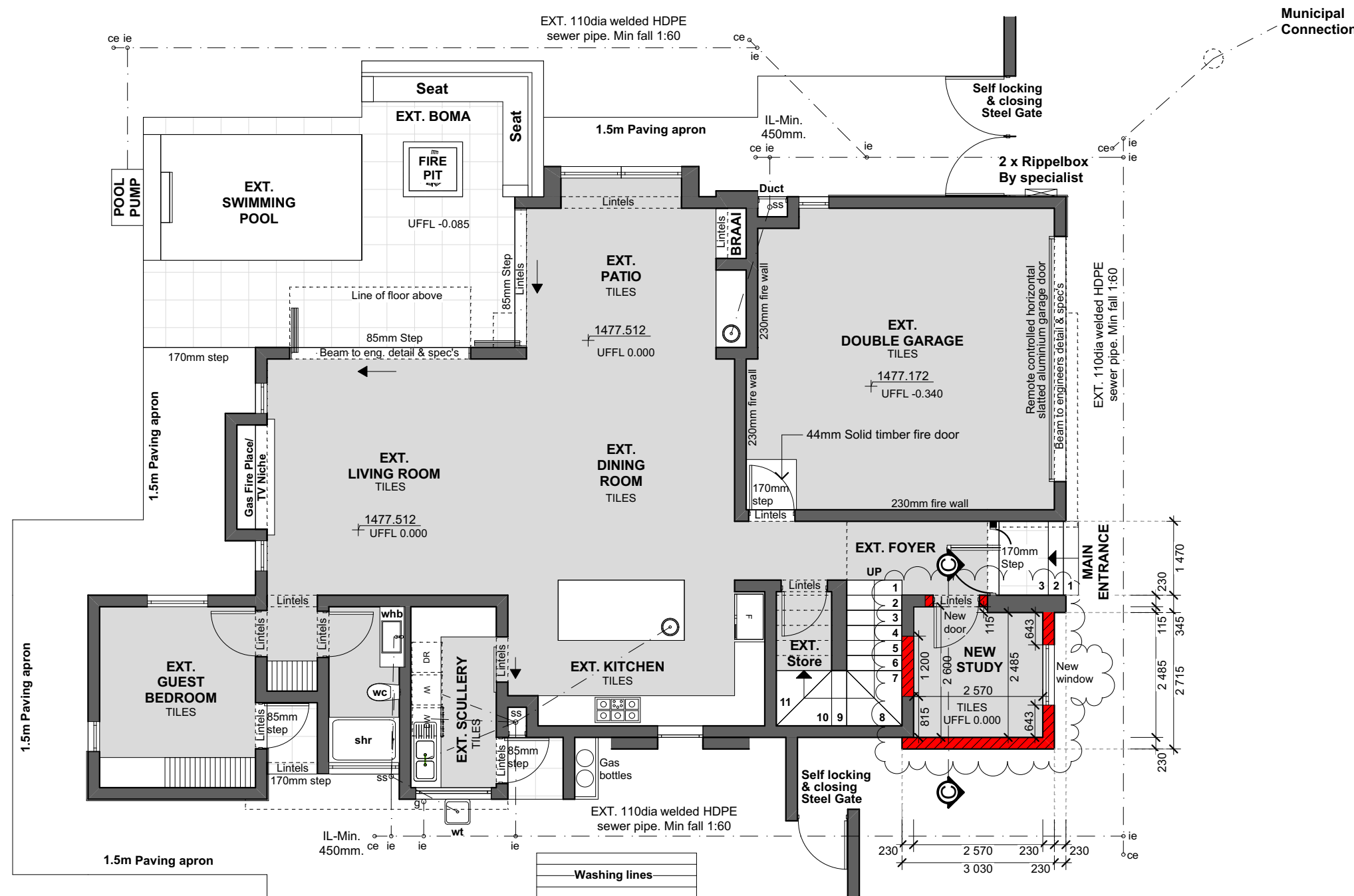
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Storm water Attenuation to be supplied by appointed Engineer.

Direction away from gutleys

The exterior facade of the boundary wall is to be finished in accordance to Guide Lines.



GROUND FLOOR PLAN
SCALE 1:100

AREAS

EXISTING GROUND FLOOR NEW ADDITION	- 171.54m ² - 6.51m ²
TOTAL NEW GROUND FLOOR	- 179.05m²
EXISTING FIRST FLOOR (Excluding Open Balconies)	- 119.17m ²
TOTAL NEW RESIDENCE	- 298.22m²

First / Ground Floor Ratio 127.86m ² / 179.05m ² - 71% (Including Double Volume)	Ground Floor - 179.05m ²
Site	- 450m ²
Coverage	- 40%

COVERAGE

Permitted	Actual
50%	40%

AREAS

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Lintels above openings:
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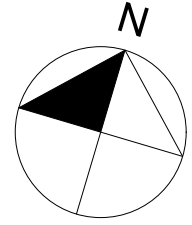
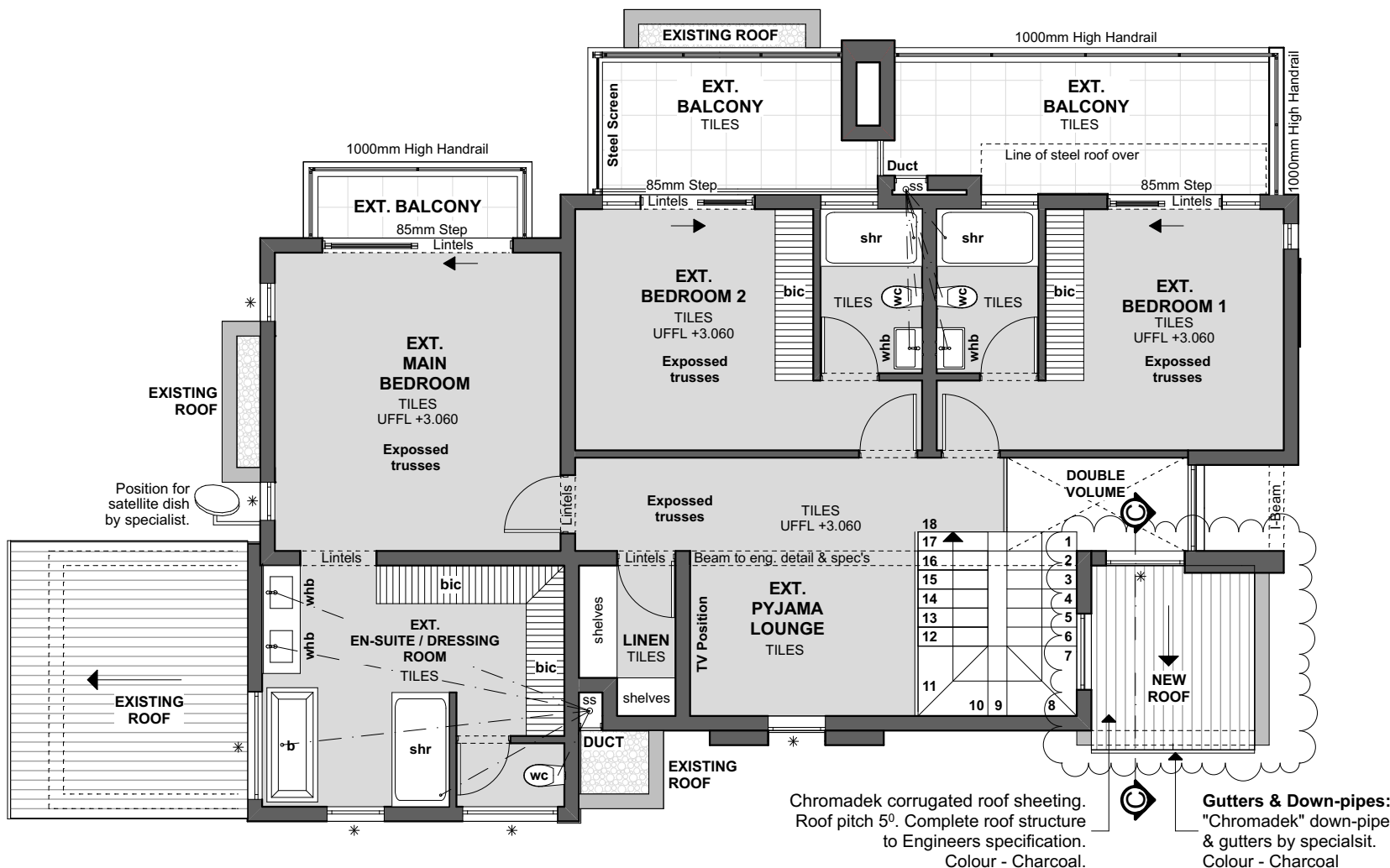
A sample or specification of the finishes for all external walls and roofs must be submitted to the appointed architect for approval prior to the application thereof.

Sewer pipes from first floor are to be installed in enclosed internal ducts, min 660mm wide. With openings at AE's only. No fiber-cement boards are accepted.

Storm water Attenuation to be supplied by appointed Engineer.

Direction away from gutleys

The exterior facade of the boundary wall is to be finished in accordance to Guide Lines.



FIRST FLOOR PLAN
SCALE 1:100

SECTION C-C SCALE 1:50

Levels to be checked and confirmed on site prior to any construction work
FFL: Min 170mm above NGL
Max 850mm above NGL.

All drainage and ventilation pipes to comply with SANS 10400.

Fire place to comply in term of SANS 10400

Horizontal plaster lines 100mm apart to be painted. Sample of plaster lines to be approved prior to application

Fire place to comply in term of SANS 10400

Exterior wall finish: Plaster & Paint.

C1 Exterior Paint - Plaston
Colour: "Evasive White J4-E2-3"

C2 Exterior Paint - Plaston
Colour: "Sterling Aluminium Al-G01"

C3 Exterior Paint - Plaston
Colour: "Rhine Castle 54"

Windows:
Aluminum - Black (powder coated)

Exterior doors:
Aluminum doors - Black (powder coated)
Timber doors - Black (painted)

Garage doors:
Horizontal slated aluminum door - Black (powder coated)

Screen wall:
Scullery door & Servants room to be 1.8m from top of FFL

Roof Stormwater Drainage:
100mm Ø Fallbore outlets with 110mm Ø downpipes in ducts by specialist.
Water spouts & overflow outlets as indicated & to be confirmed on site. By specialist.

All south & west facing windows on the first floor to be sandblasted (min 80% of the window area).

Horizontal plaster lines 100mm apart to be painted. Sample of plaster lines to be approved prior to application

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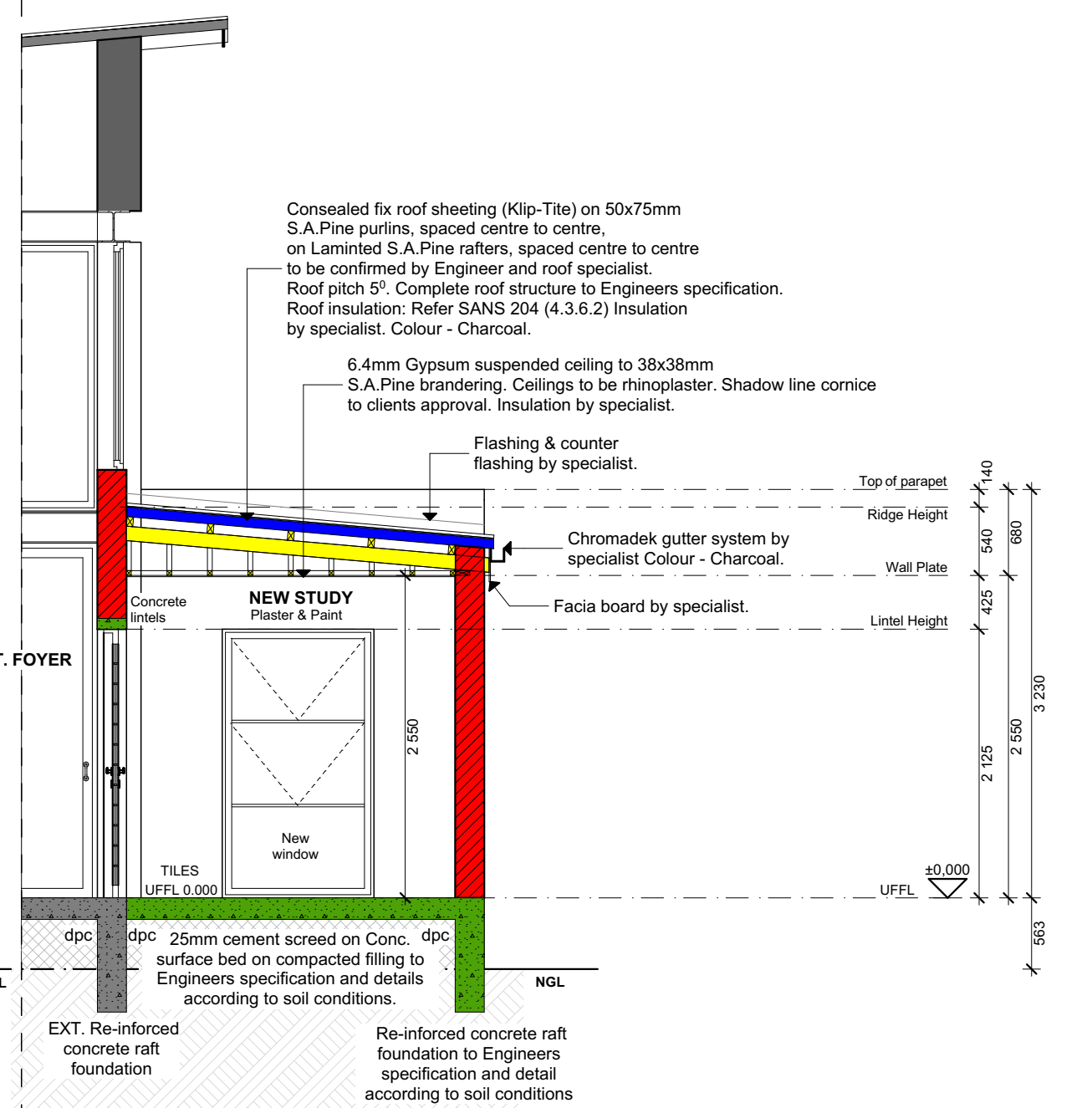
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CONSTRUCTION NOTES

FOUNDATION:

SANS 10400 - All foundations to be concrete strip foundations, unless otherwise specified on Architects and/or Engineers drawings or specifications

FILLING:

SANS 10400 - Fill to be well compacted in wetted layers of 150mm and according to Engineers specifications and recommendations.

LINTELS:

Precast concrete lintels over all openings, installed according to main specification. All face brick lintels to have reinforcing & curing on props to Engineers specification

DAMP-PROOFING:

SANS 10400 - Install 375 micron USB Green damp-proof membrane to underside of all ground slabs and 375 micron Brickgrip DPC to all walls with min 100mm overlaps at all junctions. Install brickgrip DPC to all window sills.

GROUND SLABS:

85mm Thick concrete ground slabs on fill with damp-proofing as described above. Reinforce ground slabs according to Engineers detail and specification. All expansion joints to be placed in accordance with Engineers specification

BRICKWORK:

SANS 10400 - Bricks to be laid in stretcher bond with joints not exceeding 12mm. All external walls to be 220mm walls, internal walls to be 110mm or as shown on plan.

BRICK REINFORCING:

Brickforce steel wire reinforcing to be installed in every course of foundation brickwork for a minimum of 5 courses and every 3rd course thereafter. Brickforce to be installed in every course below ground slab where brick wall is 110mm only. Brickforce installed over all lintels, unless otherwise specified.

PLASTER WORK:

All internal and external plasterwork to be minimum 10mm thick.

GLAZING:

SANS 10400 - All glazing to be clear unless otherwise specified in Architects details and schedules. Glass thickness according to the following (unless otherwise indicated)

0.75Sq m - 3mm
1.5Sq m - 4mm
2.25Sq m - 5mm
3.25Sq m - 6mm

Glazing in sliding & folding doors to be 6mm laminated safety glass. Glazing in bathrooms to be opaque unless otherwise specified. All glazing in door panels too be 6mm laminated safety glass. All sliding doors to have safety markers.

DRAINAGE:

SANS 10400 - Sink, Prep bowl - 40mm dia PVC
Bath, Shower, WBS - 50mm dia PVC
WC - 100mm dia PVC

Vent pipes - 100mm dia UPVC
Stack Pipes - 100mm dia UPVC

All soil pipes to be laid in riversand to fall min. 1:60 all in accordance with local authority regulations. Drains under buildings and/or garden wall to have flexible neo-prene joints. All drains to be placed min. 800mm from building depth of drain to be min. 600mm. No stormwater into drains. All first floor fittings to be supplied with anti-vac valves.

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Direction away from gutleys

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PAINT SAMPLES

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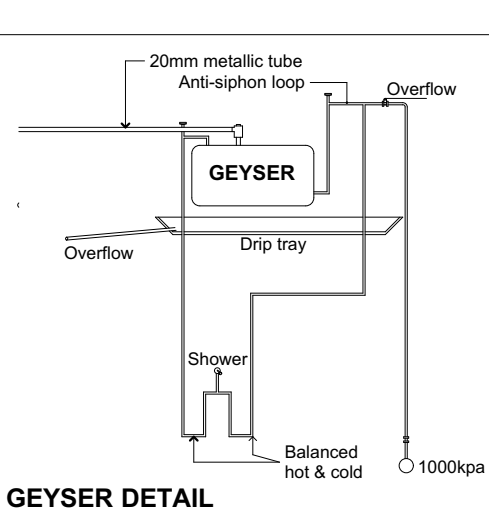
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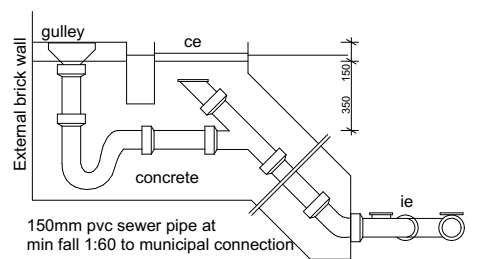
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GEYSER DETAIL



GULLEY DETAIL

SACAP No: PSAT 20684



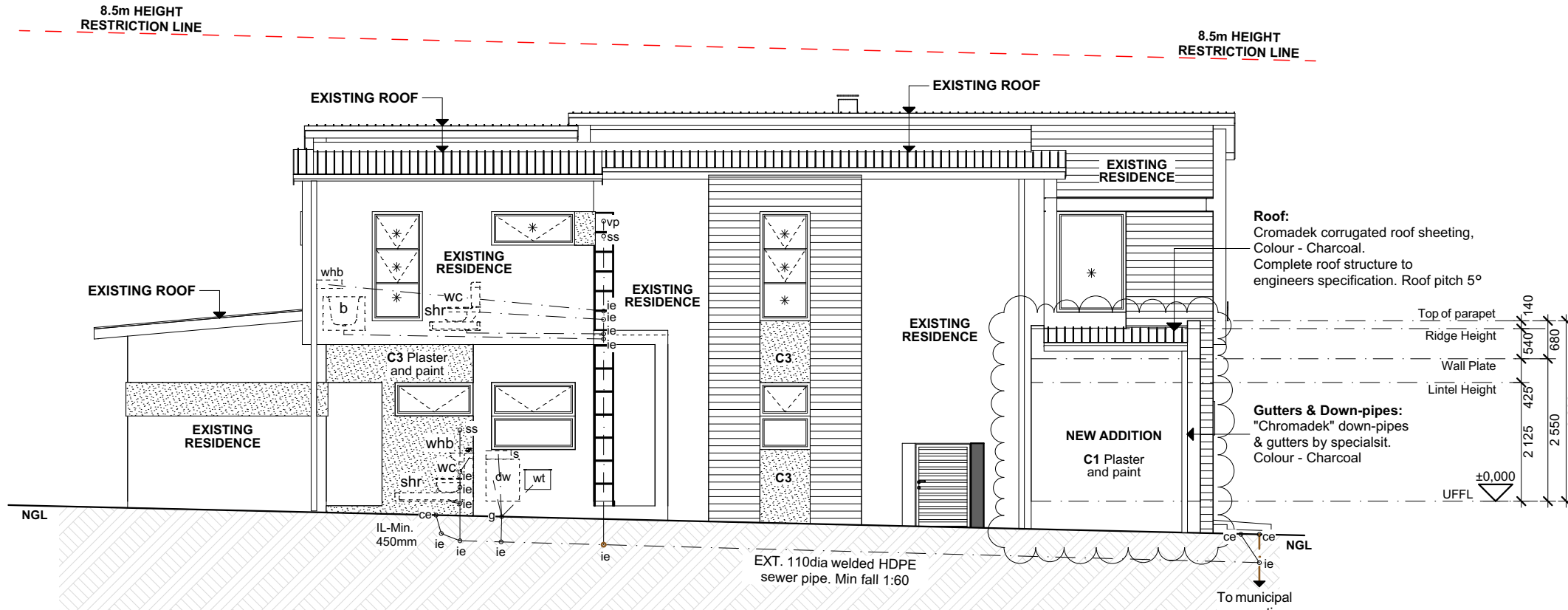
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Client: SkyRock Construction

Project: Proposed new additions for SkyRock Construction, on Stand 12080, 90 Forest Buzzard Street, Fountainbrook Estate, Ext. 118

Drawing: Elevations 3D Renders

Drawing Status:		
HOA	Tender	Construction
2025/11/17	Voguel Arc	as shown
Project No: DMR 145	Drawing No: 3/4	Revision No: REV 01



SOUTH EAST ELEVATION
SCALE 1:100

Levels to be checked and confirmed on site prior to any construction work
FFL: Min 170mm above NGL
Max 850mm above NGL
All drainage and ventilation pipes to comply with SANS 10400.

Horizontal plaster lines 100mm apart to be painted. Sample of plaster lines to be approved prior to application
Fire place to comply in term of SANS 10400

Exterior wall finish: Plaster & Paint.			
C1 Exterior Paint - Plaston Colour: "Evasive White J4-E2-3"	C2 Exterior Paint - Plaston Colour: "Sterling Aluminium Al-G01"	C3 Exterior Paint - Plaston Colour: "Rhine Castle 54"	
Windows: Aluminum - Black (powder coated)	Exterior doors: Aluminum doors - Black (powder coated)	Garage doors: Horizontal slated aluminum door - Black (powder coated)	Paving: Paving - Grey Roof: Cromadek corrugated roof sheeting, Colour - Charcoal. Roof pitch 5° Steel handrail: 1000mm high, 100mm max openings to NBR. To Architect detail.

SOUTH WEST ELEVATION
SCALE 1:100

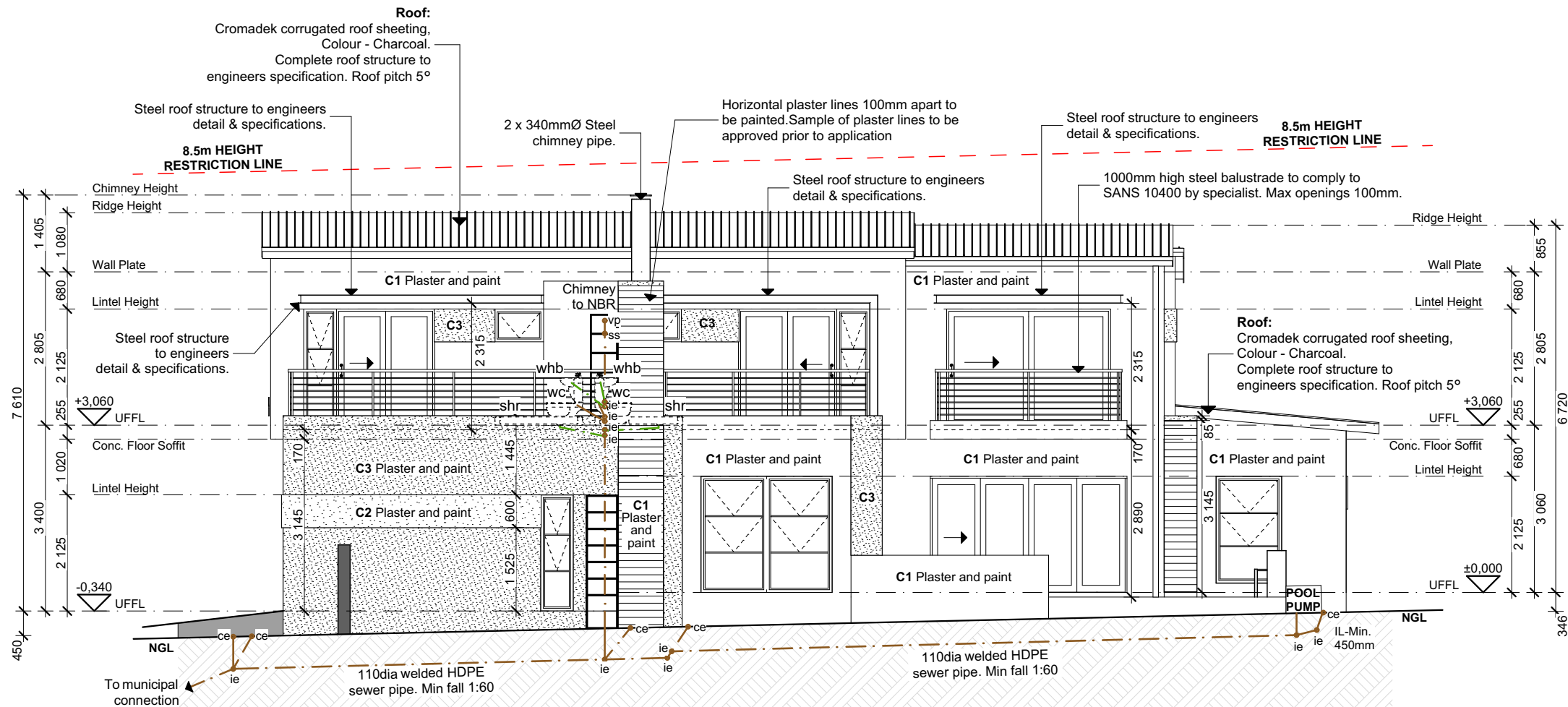
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Screen wall:
Scully door & Servants room to be 1.8m from top of FFL

Roof Stormwater Drainage:
100mm Ø Fullbore outlets with 110mm Ø downpipes in ducts by specialist.
Water spouts & overflow outlets as indicated & to be confirmed on site. By specialist.



NORTH WEST ELEVATION
SCALE 1:100

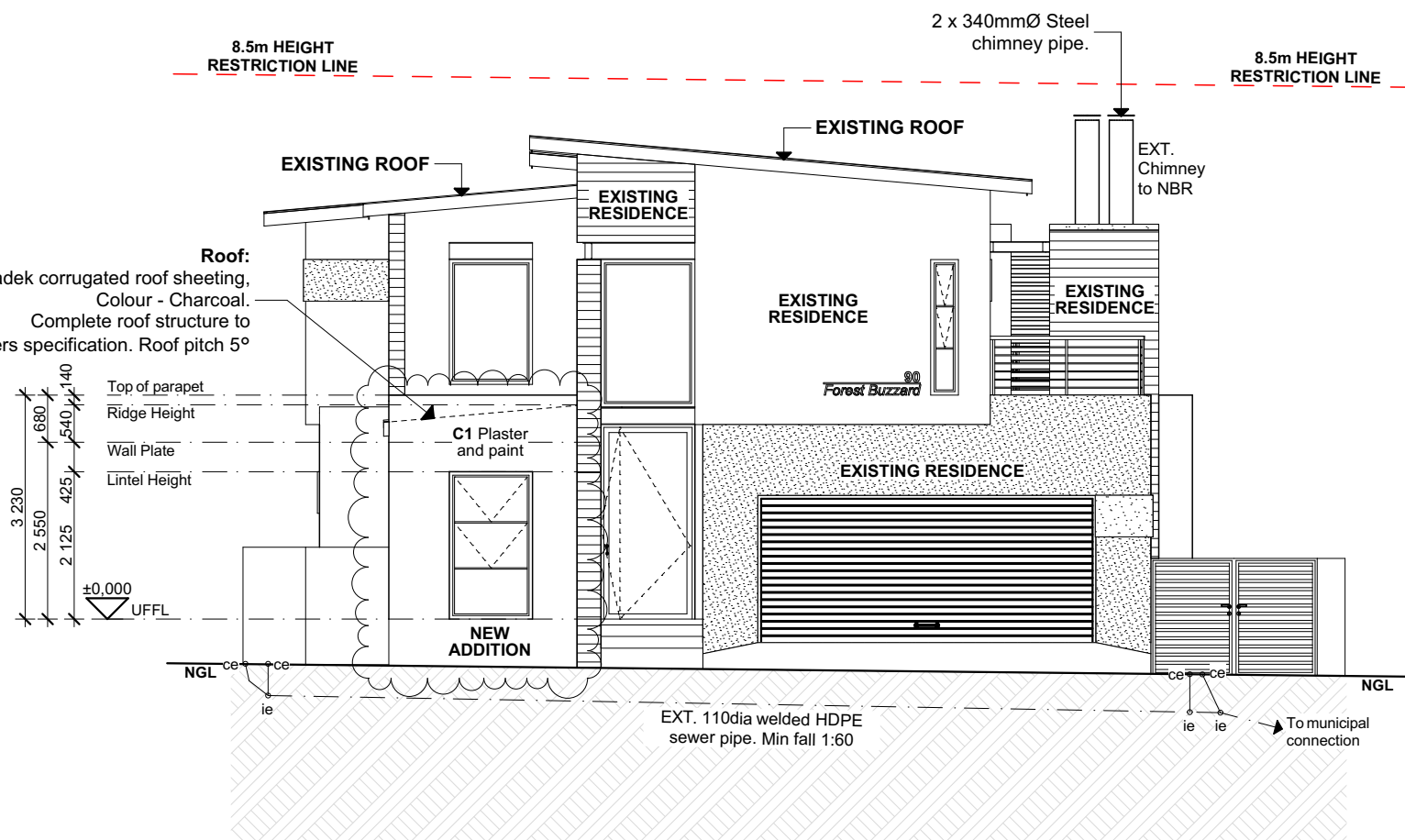
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SECTION A-A SCALE 1:50

Levels to be checked and confirmed on site prior to any construction work

FFL: Min 170mm above NGL
Max 850mm above NGL

All drainage and ventilation pipes to comply with SANS 10400.

All south & west facing windows on the first floor to be sandblasted (min 80% of the window area).

Horizontal plaster lines 100mm apart to be painted. Sample of plaster lines to be approved prior to application

Fire place to comply in term of SANS 10400

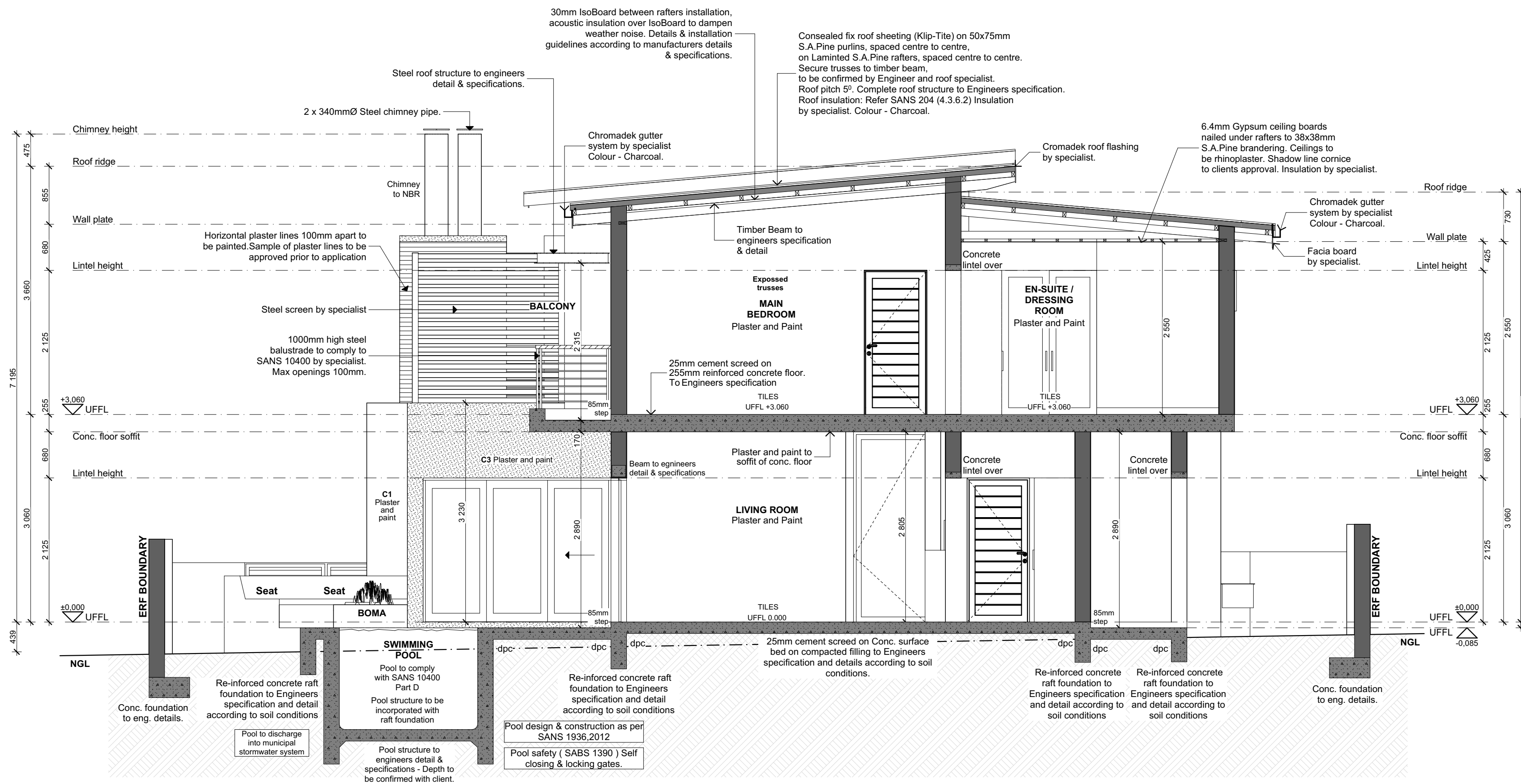
Exterior wall finish: Plaster & Paint.

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Windows: Aluminum doors Timber doors Garage doors: Horizontal slated aluminum door	- Black (powder coated) - Black (powder coated) - Black (powder coated) - Black (powder coated)
Paving: Roof: Steel handrail: 1000mm high, 100mm max openings to NBR. To Architect detail.	- Grey - Cromadek corrugated roof sheeting Colour - Charcoal. Roof pitch 5° - 1000mm high, 100mm max openings to NBR. To Architect detail.

Screen wall:
Sculley door & Servants room to be 1.8m from top of FFL

Roof Stormwater Drainage:
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SECTION B-B SCALE 1:50

Levels to be checked and confirmed on site prior to any construction work

FFL: Min 170mm above NGL
Max 850mm above NGL

All drainage and ventilation pipes to comply with SANS 10400.

All south & west facing windows on the first floor to be sandblasted (min 80% of the window area).

Horizontal plaster lines 100mm apart to be painted. Sample of plaster lines to be approved prior to application

Fire place to comply in term of SANS 10400

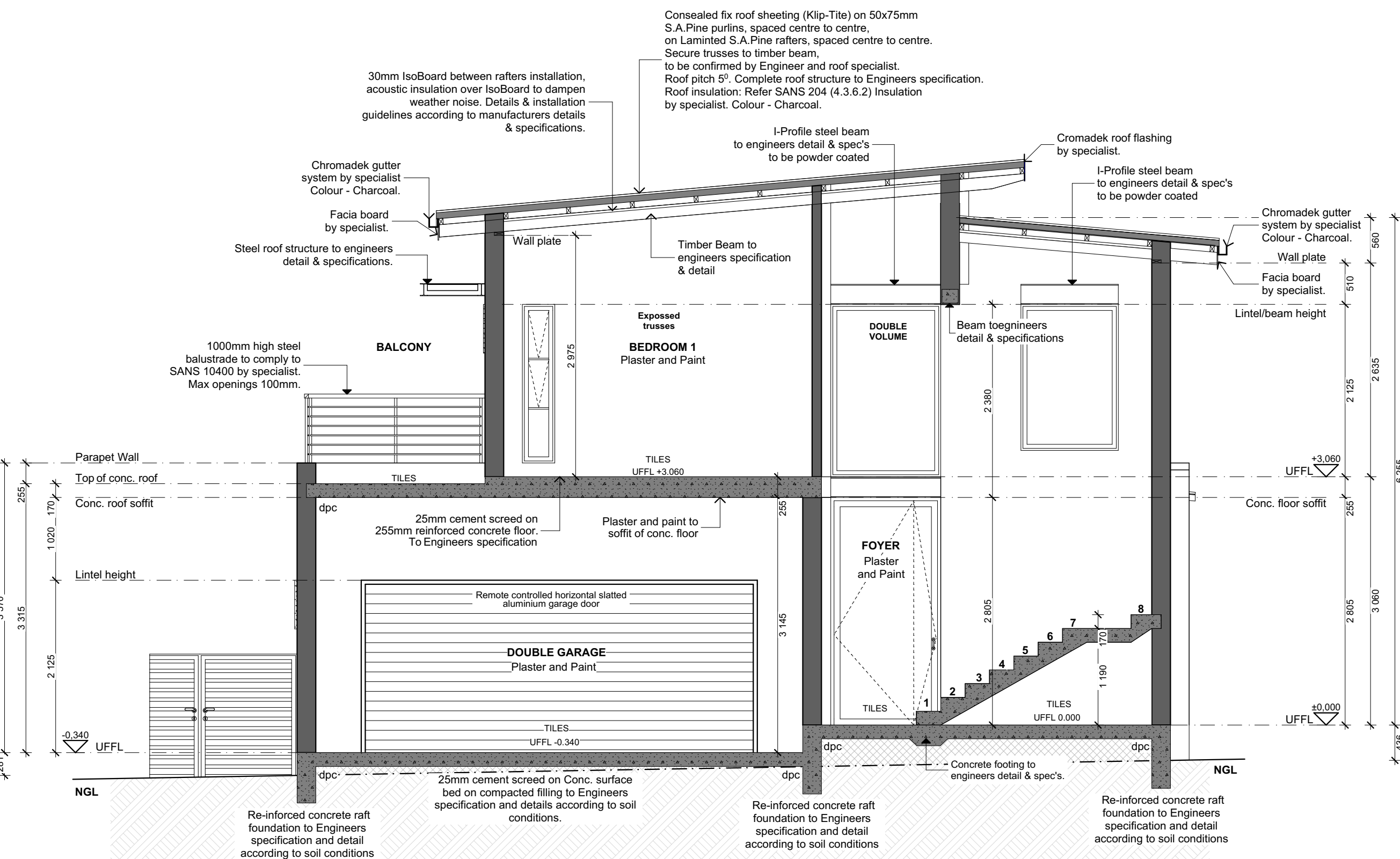
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Screen wall:
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Roof Stormwater Drainage:
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GENERAL NOTES

THIS DRAWING MUST NOT BE SCALED. THE CONTRACTOR TO CHECK DIMENSIONS AND LEVELS ON SITE BEFORE COMMENCEMENT OF ANY WORK OR COMMENCEMENT OF SHOP DRAWINGS. THE DESIGN SHOWN ON THIS DRAWING IS COPYRIGHT PROTECTED AND REMAINS THE PROPERTY OF THE ARCHITECT.

QUALITY OF MATERIALS AND WORKMANSHIP TO COMPLY WITH THE LATEST RELEVANT CODES AND SPECIFICATIONS OF SANS AND NBR AND THE MINIMUM STANDARDS OF STANDARD PRELIMINARIES (JSC) AND MODEL PREAMBLES FOR TRADES (1999-ASAQS) AND WHERE APPLICABLE, PROJECT SPECIFICATIONS.

CONSTRUCTION NOTES

FOUNDATION:

SANS 10400 - All foundations to be concrete strip foundations, unless otherwise specified on Architects and/or Engineers drawings or specifications

FILLING:

SANS 10400 - Fill to be well compacted in wetted layers of 150mm and according to Engineers specifications and recommendations.

LINTELS:

Precast concrete lintels over all openings, installed according to main specification. All face brick lintels to have reinforcing & curing on props to Engineers specification

DAMP-PROOFING:

SANS 10400 - Install 375 micron USB Green damp-proof membrane to underside of all ground slabs and 375 micron Brickgrid DPC to all walls with min 100mm overlaps at all junctions. Install brickgrid DPC to all window sills.

GROUND SLABS:

85mm Thick concrete ground slabs on fill with damp-proofing as described above. Reinforce ground slabs according to Engineers detail and specification. All expansion joints to be placed in accordance with Engineers specification

BRICKWORK:

SANS 10400 - Bricks to be laid in stretcher bond with joints not exceeding 12mm. All external walls to be 220mm walls, internal walls to be 110mm or as shown on plan.

BRICK REINFORCING:

Brickforce steel wire reinforcing to be installed in every course of foundation brickwork for a minimum of 5 courses and every 3rd course thereafter. Brickforce to be installed in every course below ground slab where brick wall is 110mm only. Brickforce installed over all lintels, unless otherwise specified.

PLASTER WORK:

All internal and external plasterwork to be minimum 10mm thick.

GLAZING:

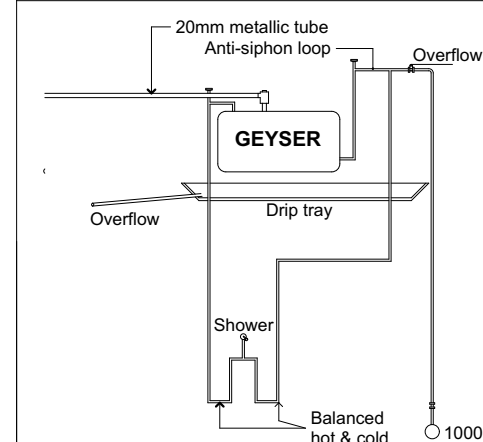
SANS 10400 - All glazing to be clear unless otherwise specified in Architects details and schedules. Glass thickness according to the following (unless otherwise indicated)

0.75Sq m - 3mm
1.5Sq m - 4mm
2.15Sq m - 5mm
3.25Sq m - 6mm
Glazing in sliding & folding doors to be 6mm laminated safety glass. Glazing in bathrooms to be opaque unless otherwise specified. All glazing in door panels too be 6mm laminated safety glass. All sliding doors to have safety markers.

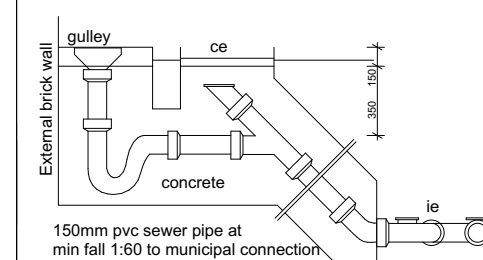
DRAINAGE:

SANS 10400 - Sink, Prep bowl - 40mm dia PVC
Bath, Shower, WBS - 50mm dia PVC
WC - 100mm dia PVC
Vent pipes - 100mm dia UPVC
Stack pipes - 100mm dia UPVC

All soil pipes to be laid in riversand to fall min. 1:60 all in accordance with local authority regulations. Drains under buildings and/or garden wall to have flexible neo-prene joints. All drains to be placed min. 800mm from building depth of drain to be min. 600mm. No stormwater into drains. All first floor fittings to be supplied with anti-vac valves.



GEYSER DETAIL



GULLY DETAIL

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Project:

Proposed new additions for
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Drawing:

Sections

Drawing Status:

HOA	Tender	Construction
Date: 2025/11/17	Drawn: Voguel Arc	Scale: as shown
Project No: DMR 145	Drawing No: 4/4	Revision No: REV 01