

DUCT NOTE:
* Duct access panels to comply to SANS 10400 by specialist.
* Ducts minimum 400 x 600mm

Concrete Roofs:
All parapet walls to slope inwards, to be waterproofed to top of wall.

Floors:
All floors in a kitchen, scullery / laundry or bathroom to be in accordance with SANS 10400 - J

Note
All stairs:
Treads - 300mm
Risers - 170mm
Concrete staircase to Engineers detail and specification.

Staircase & First Floor Handrails:
1000mm S/Steel handrails, max openings 100mm, to SANS 10400

Lintels above openings:
Soffit heights to be same level as door / window in specific room - 2 125mm

RW outlet:
Pipes by specialist. RW inlet: receive grills to prevent debris blocking outlets.

Levels to be checked on site:
FFL: Min 170mm above NGL
Max 850mm above NGL

Fire place to comply in term of SANS 10400 Part VV.2
All drainage and ventilation pipes to comply with SANS 10400 Part P.

Gas Installation:
To comply with NBR, by specialist.
Cage for gas bottles to be built, on 170mm plinth with lockable doors and conc. roof.

All south & west facing windows on the first floor to be sandblasted (min 80% of the window area).

Note:
No existing trees on site.

Exterior walls painted, colour to client specification to Estate Guidelines.

All Solar heating panels / TV aerials / Satellite Dishes is to be installed in a well-concealed position.
All plumbing work is to be fully concealed. Washing lines is to be installed as per the Guidelines (Not to be visible from street)
All mechanical equipment, incl. swimming pool pump is to be installed and concealed according to the Guidelines.

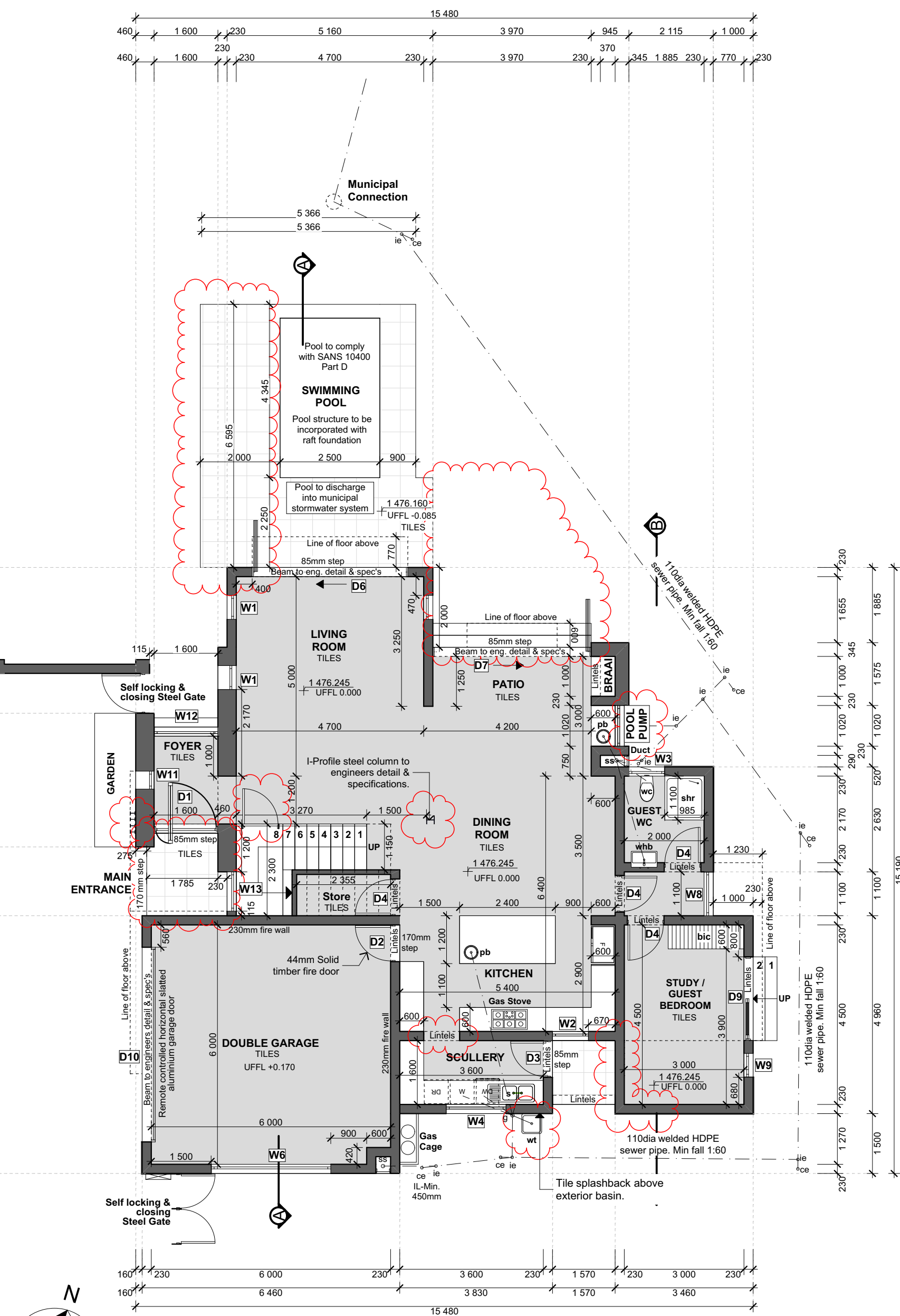
Flat roofs: Waterproofing is not to be visible and is to receive a layer of stone chip.

A sample or specification of the finishes for all external walls and roofs must be submitted to the appointed architect for approval prior to the application thereof.

Sewer pipes from first floor are to be installed in enclosed internal ducts, min 600mm wide. With openings at AE's only. No fiber-cement boards are accepted.

Storm water Attenuation to be supplied by appointed Engineer.
Direction away from gutters

The exterior facade of the boundary wall is to be finished in accordance to Guide Lines.



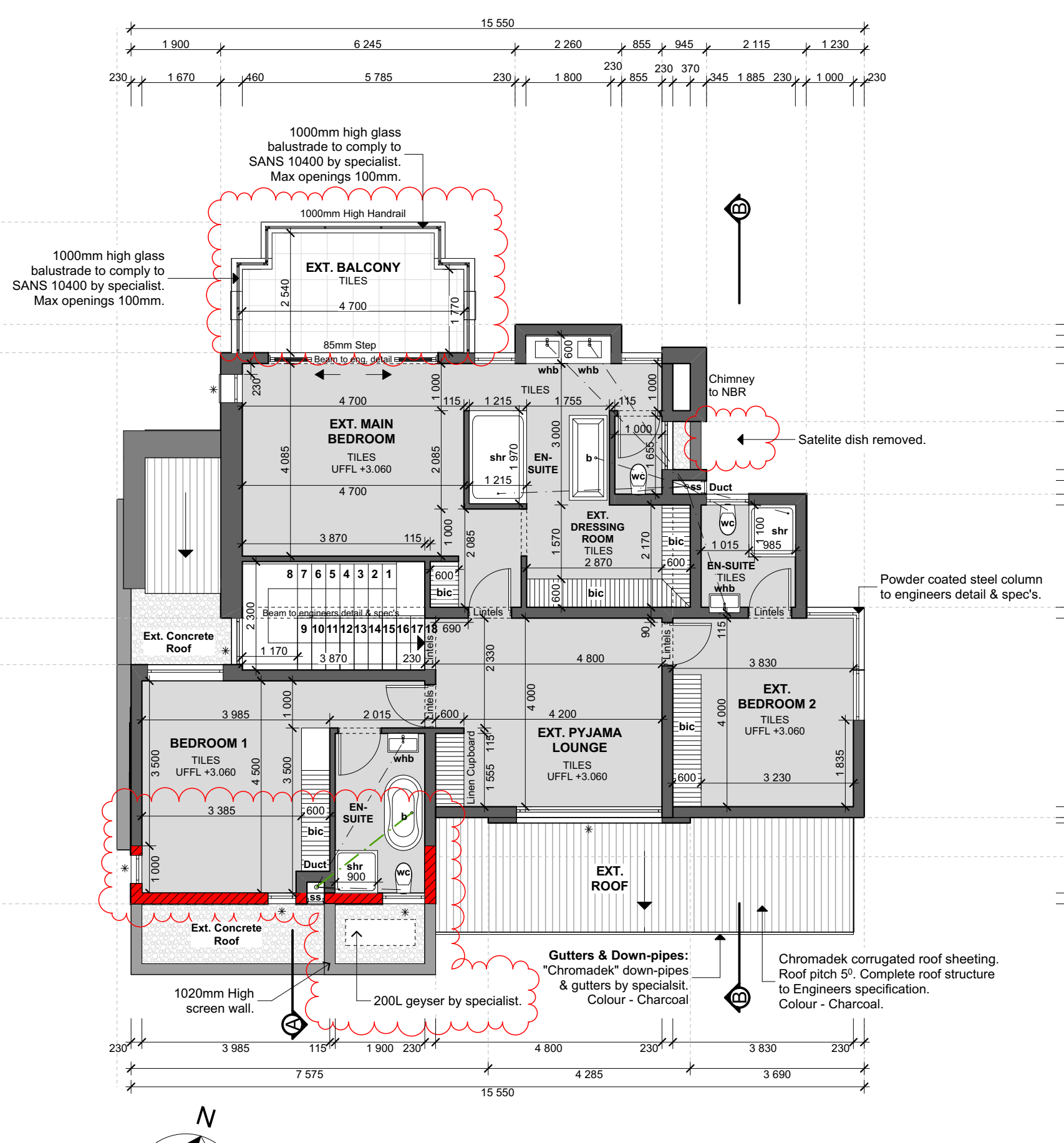
GROUND FLOOR PLAN
SCALE 1:100

AREAS

GROUND FLOOR	- 182.14m ²	First / Ground Floor Ratio	137.03m ² / 182.14m ²
TOTAL	- 182.14m ²	75% (Including Double Volume)	
FIRST FLOOR (Excluding Open Balconies)	- 127.60m ²	Ground Floor	- 182.14m ²
TOTAL RESIDENCE	- 309.74m ²	Site	- 505m ²
		Coverage	- 36%

COVERAGE

Permitted	Actual
50%	36%



FIRST FLOOR PLAN
SCALE 1:100

AREAS

GROUND FLOOR	- 182.14m ²	First / Ground Floor Ratio	137.03m ² / 182.14m ²
TOTAL	- 182.14m ²	75% (Including Double Volume)	
FIRST FLOOR (Excluding Open Balconies)	- 127.60m ²	Ground Floor	- 182.14m ²
TOTAL RESIDENCE	- 309.74m ²	Site	- 505m ²
		Coverage	- 36%

DUCT NOTE:
* Duct access panels to comply to SANS 10400 by specialist.
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Concrete Roofs:
All parapet walls to slope inwards, to be waterproofed to top of wall.

Floors:
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Note
All stairs:
Treads - 300mm
Risers - 170mm
Concrete staircase to Engineers detail and specification.

Staircase & First Floor Handrails:
1000mm S/Steel handrails, max openings 100mm, to SANS 10400

Lintels above openings:
Soffit heights to be same level as door / window in specific room - 2 125mm

RW outlet:
Pipes by specialist. RW inlet: receive grills to prevent debris blocking outlets.

Levels to be checked on site:
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Cage for gas bottles to be built, on 170mm plinth with lockable doors and conc. roof.

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All mechanical equipment, incl. swimming pool pump is to be installed and concealed according to the Guidelines.

Flat roofs: Waterproofing is not to be visible and is to receive a layer of stone chip.

A sample or specification of the finishes for all external walls and roofs must be submitted to the appointed architect for approval prior to the application thereof.

Sewer pipes from first floor are to be installed in enclosed internal ducts, min 600mm wide. With openings at AE's only. No fiber-cement boards are accepted.

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Direction away from gutters

The exterior facade of the boundary wall is to be finished in accordance to Guide Lines.

GENERAL NOTES

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QUALITY OF MATERIALS AND WORKMANSHIP TO COMPLY WITH THE LATEST RELEVANT CODES AND SPECIFICATIONS OF SANS AND NBR AND THE MINIMUM STANDARDS OF STANDARD PRELIMINARIES (JSC) AND MODEL PREAMBLES FOR TRADES (1999-ASAQS) AND WHERE APPLICABLE, PROJECT SPECIFICATIONS.

CONSTRUCTION NOTES

FOUNDATION:

SANS 10400 - All foundations to be concrete strip foundations, unless otherwise specified on Architects and/or Engineers drawings or specifications

FILLING:

SANS 10400 - Fill to be well compacted in wetted layers of 150mm and according to Engineers specifications and recommendations.

LINTELS:

Precast concrete lintels over all openings, installed according to main specification. All face brick lintels to have reinforcing & curing on props to Engineers specification

DAMP-PROOFING:

SANS 10400 - Install 375 micron USB Green damp-proof membrane to underside of all ground slabs and 375 micron Brickgrid DPC to all walls with min 100mm overlaps at all junctions. Install brickgrid DPC to all window sills.

GROUND SLABS:

85mm Thick concrete ground slabs on fill with damp-proofing as described above. Reinforce ground slabs according to Engineers detail and specification. All expansion joints to be placed in accordance with Engineers specification

BRICKWORK:

SANS 10400 - Bricks to be laid in stretcher bond with joints not exceeding 12mm. All external walls to be 220mm walls, internal walls to be 110mm or as shown on plan.

BRICK REINFORCING:

Brickforce steel wire reinforcing to be installed in every course of foundation brickwork for a minimum of 5 courses and every 3rd course thereafter. Brickforce to be installed in every course below ground slab where brick wall is 110mm only. Brickforce installed over all lintels, unless otherwise specified.

PLASTER WORK:

All internal and external plasterwork to be minimum 10mm thick.

GLAZING:

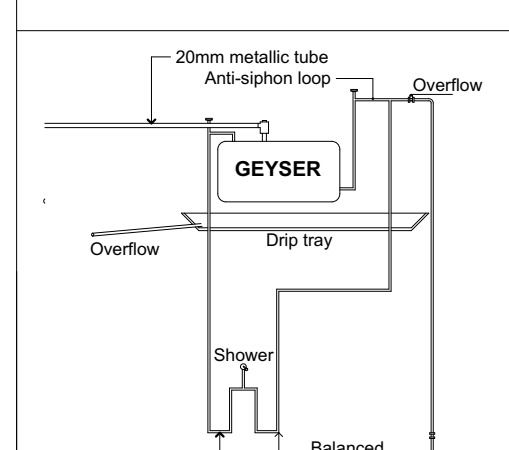
SANS 10400 - All glazing to be clear unless otherwise specified in Architects details and schedules. Glass thickness according to the following: (unless otherwise indicated)
0.75Sq m - 3mm
1.5Sq m - 4mm
2.25Sq m - 5mm
3.25Sq m - 6mm

Glazing in sliding & folding doors to be 6mm laminated safety glass. Glazing in bathrooms to be opaque unless otherwise specified. All glazing in door panels too be 6mm laminated safety glass. All sliding doors to have safety markers.

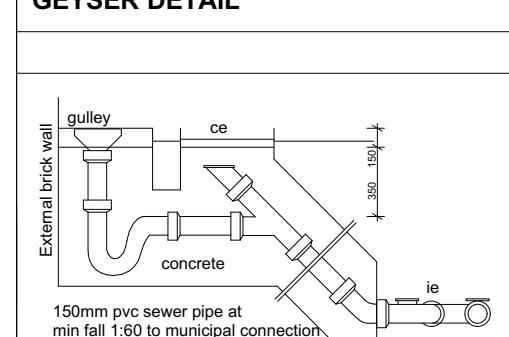
DRAINAGE:

SANS 10400 - Sink, Prep bowl - 40mm dia PVC
Bath, Shower WBS - 50mm dia PVC
WC - 100mm dia PVC
Vent pipes - 100mm dia UPVC
Stack Pipes - 100mm dia UPVC

All soil pipes to be laid in riversand to fall min. 1:60 all in accordance with local authority regulations. Drains under buildings and/or garden wall to have flexible neo-prene joints. All drains to be placed min. 800mm from building depth of drain to be min. 600mm. No stormwater into drains. All first floor fittings to be supplied wit anti-vac valves.



GEYSER DETAIL



GULLEY DETAIL

SACAP No: PSAT 20684



Johan Deetlefs
The Grit Office Space
11 Hazelwood Road
1st Floor, Office 2
Pretoria
0081
c: (+27)82 290 5556
e: johan@voguel.co.za
www.voguel.co.za

Client: SkyRock Construction
Project: Proposed Amendments drawings for SkyRock Construction, on Stand 12112, 163 Forest Buzzard Street, Fountainbrook Estate, Ext. 118
Drawing: Ground Floor Plan First Floor Plan

HOA	Tender	Construction
2026/07/05	Voguel Arc	as shown
Project No: DMR 146	Drawing No: 2/4	Revision No: REV 03

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CONSTRUCTION NOTES

FOUNDATION:

SANS 10400 - All foundations to be concrete strip foundations, unless otherwise specified on Architects and/or Engineers drawings or specifications

FILLING:

SANS 10400 - Fill to be well compacted in wetted layers of 150mm and according to Engineers specifications and recommendations.

LINTELS:

Precast concrete lintels over all openings, installed according to main specification. All face brick lintels to have reinforcing & curing on props to Engineers specification

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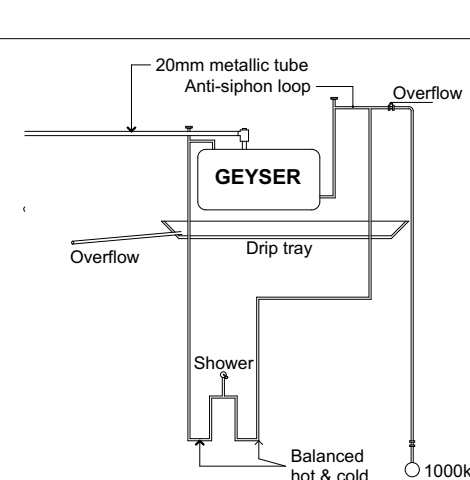
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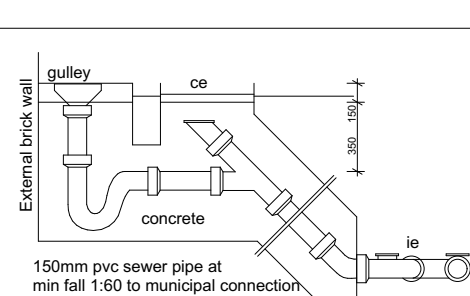
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The Grit Office Space
11 Hazelwood Road
1st Floor, Office 2
Proffers
0081
c: (+27)82 290 5556
e: johan@voguel.co.za
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Client:

SkyRock Construction

Project:

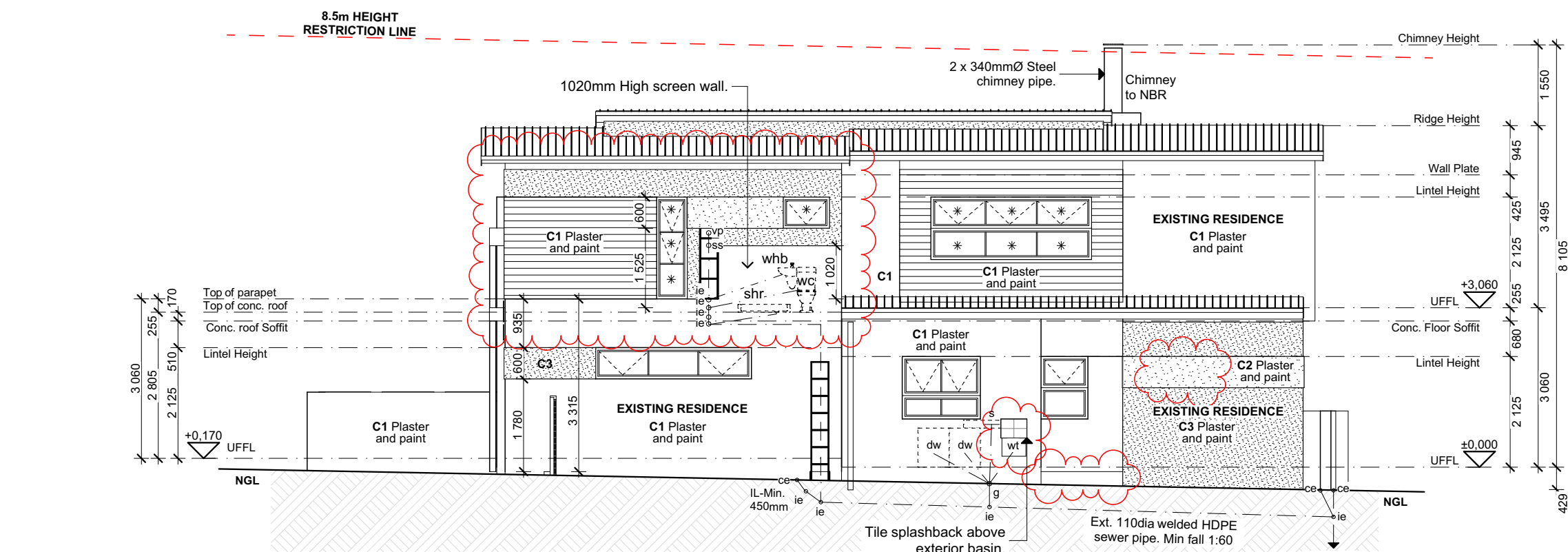
Proposed Amendments drawings for
SkyRock Construction,
on Stand 12112,
163 Forest Buzzard Street,
Fountainbrook Estate, Ext. 118

Drawing:

Elevations

Drawing Status:

HOA	Tender	Construction
Date: 2026/07/05	Drawn: Voguel Arc	Scale: as shown
Project No: DMR 146	Drawing No: 3/4	Revision No: REV 03



SOUTH EAST ELEVATION SCALE 1:100

Levels to be checked and confirmed on site prior to any construction work

FFL: Min 170mm above NGL
Max 850mm above NGL

All drainage and ventilation pipes to comply with SANS 10400.

* All south & west facing windows on the first floor to be sandblasted (min 80% of the window area).

Horizontal plaster lines 100mm apart to be painted. Sample of plaster lines to be approved prior to application

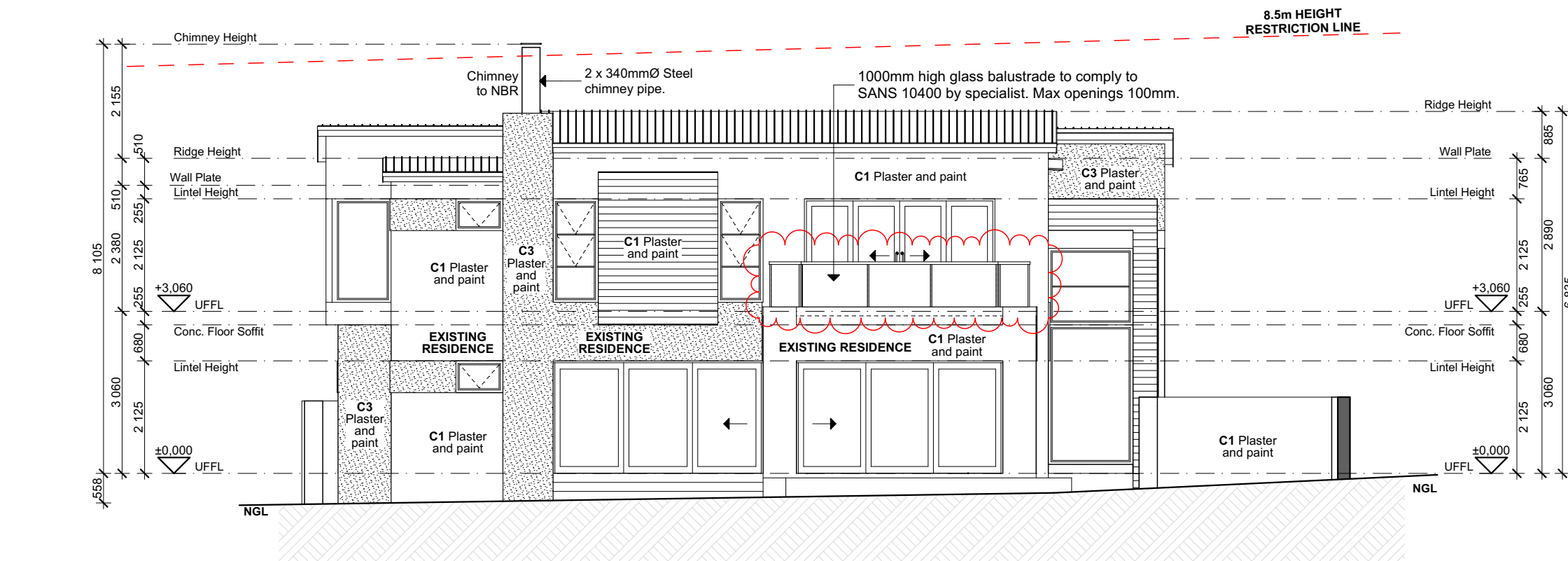
Fire place to comply in term of SANS 10400

Exterior wall finish: Plaster & Paint.
C1 Exterior Paint - Plascon Colour: "White"
C2 Exterior Paint - Plascon Colour: "Dolphin Coast"
C3 Exterior Paint - Plascon Colour: "Subtle Night"

Windows: Aluminum - Black (powder coated)
Exterior doors: Aluminum doors - Black (powder coated) Timber doors - Black (painted)
Garage doors: Glass panel door - Smokey glass

Paving: Paving - Grey Roof: Cromadek corrugated roof sheeting Colour - Charcoal. Roof pitch 5°
Steel handrail: 1000mm high, 100mm max openings to NBR. To Architect detail.

Screen wall: Scullery door & Servants room to be 1.8m from top of FFL.
Roof Stormwater Drainage: 100mm Ø Fullbore outlets with 110mm Ø downpipes in ducts by specialist. Water spouts & overflow outlets as indicated & to be confirmed on site. By specialist.



NORTH WEST ELEVATION SCALE 1:100

Levels to be checked and confirmed on site prior to any construction work

FFL: Min 170mm above NGL
Max 850mm above NGL

All drainage and ventilation pipes to comply with SANS 10400.

* All south & west facing windows on the first floor to be sandblasted (min 80% of the window area).

Horizontal plaster lines 100mm apart to be painted. Sample of plaster lines to be approved prior to application

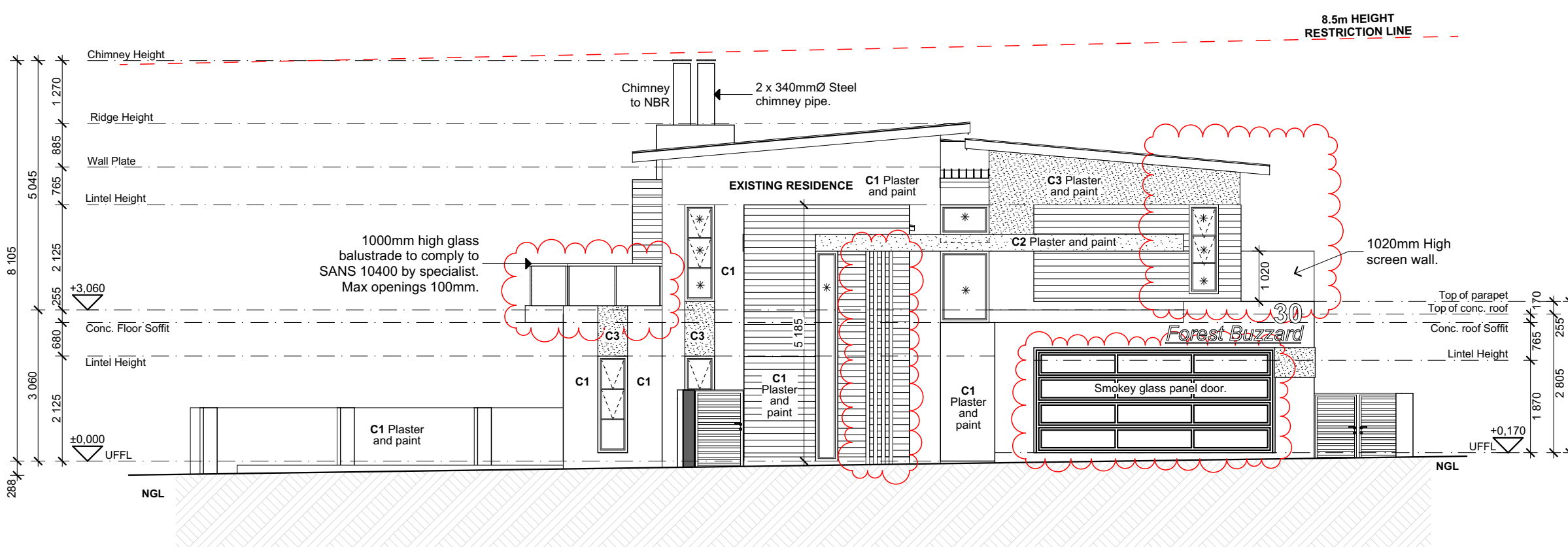
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Windows: Aluminum - Black (powder coated)
Exterior doors: Aluminum doors - Black (powder coated) Timber doors - Black (painted)
Garage doors: Glass panel door - Smokey glass

Paving: Paving - Grey Roof: Cromadek corrugated roof sheeting Colour - Charcoal. Roof pitch 5°
Steel handrail: 1000mm high, 100mm max openings to NBR. To Architect detail.

Screen wall: Scullery door & Servants room to be 1.8m from top of FFL.
Roof Stormwater Drainage: 100mm Ø Fullbore outlets with 110mm Ø downpipes in ducts by specialist. Water spouts & overflow outlets as indicated & to be confirmed on site. By specialist.



SOUTH WEST ELEVATION SCALE 1:100

Levels to be checked and confirmed on site prior to any construction work

FFL: Min 170mm above NGL
Max 850mm above NGL

All drainage and ventilation pipes to comply with SANS 10400.

* All south & west facing windows on the first floor to be sandblasted (min 80% of the window area).

Horizontal plaster lines 100mm apart to be painted. Sample of plaster lines to be approved prior to application

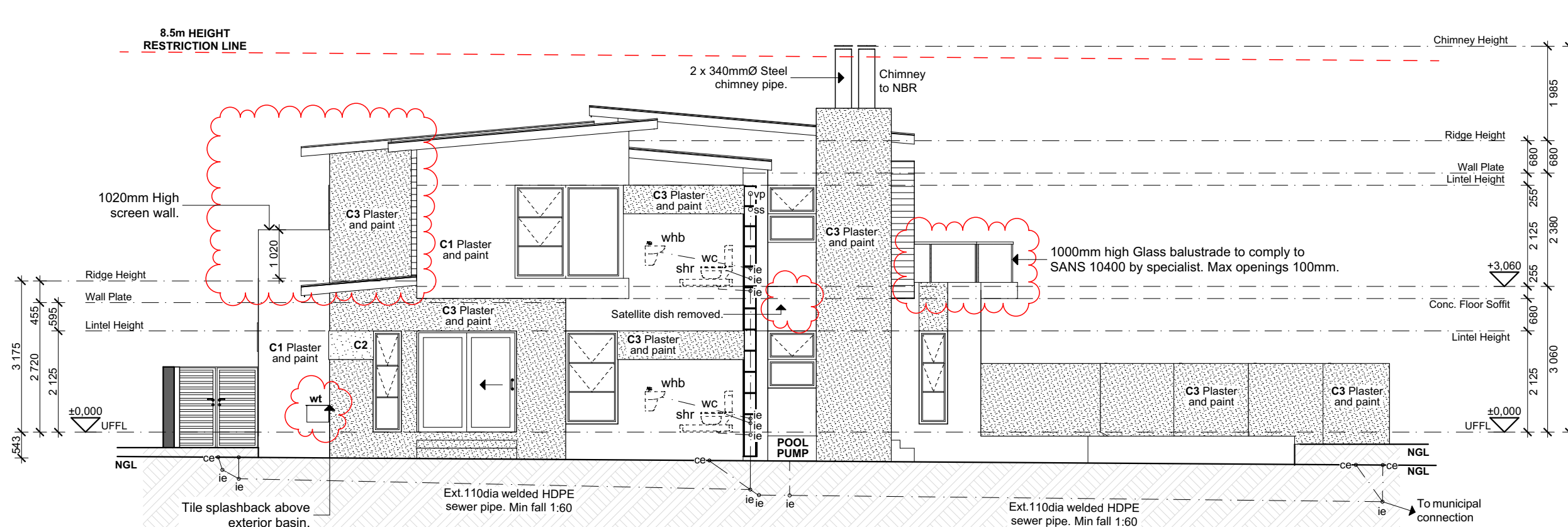
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Windows: Aluminum - Black (powder coated)
Exterior doors: Aluminum doors - Black (powder coated) Timber doors - Black (painted)
Garage doors: Glass panel door - Smokey glass

Paving: Paving - Grey Roof: Cromadek corrugated roof sheeting Colour - Charcoal. Roof pitch 5°
Steel handrail: 1000mm high, 100mm max openings to NBR. To Architect detail.

Screen wall: Scullery door & Servants room to be 1.8m from top of FFL.
Roof Stormwater Drainage: 100mm Ø Fullbore outlets with 110mm Ø downpipes in ducts by specialist. Water spouts & overflow outlets as indicated & to be confirmed on site. By specialist.



NORTH EAST ELEVATION SCALE 1:100

Levels to be checked and confirmed on site prior to any construction work

FFL: Min 170mm above NGL
Max 850mm above NGL

All drainage and ventilation pipes to comply with SANS 10400.

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Horizontal plaster lines 100mm apart to be painted. Sample of plaster lines to be approved prior to application

Fire place to comply in term of SANS 10400

Exterior wall finish: Plaster & Paint.
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Garage doors: Glass panel door - Smokey glass

Paving: Paving - Grey Roof: Cromadek corrugated roof sheeting Colour - Charcoal. Roof pitch 5°
Steel handrail: 1000mm high, 100mm max openings to NBR. To Architect detail.

Screen wall: Scullery door & Servants room to be 1.8m from top of FFL.
Roof Stormwater Drainage: 100mm Ø Fullbore outlets with 110mm Ø downpipes in ducts by specialist. Water spouts & overflow outlets as indicated & to be confirmed on site. By specialist.

SECTION A-A SCALE 1:50

Levels to be checked and confirmed on site prior to any construction work

FFL: Min 170mm above NGL
Max 850mm above NGL.

All drainage and ventilation pipes to comply with SANS 10400.

All south & west facing windows on the first floor to be sandblasted (min 80% of the window area).

Horizontal plaster lines 100mm apart to be painted. Sample of plaster lines to be approved prior to application

Fire place to comply in term of SANS 10400

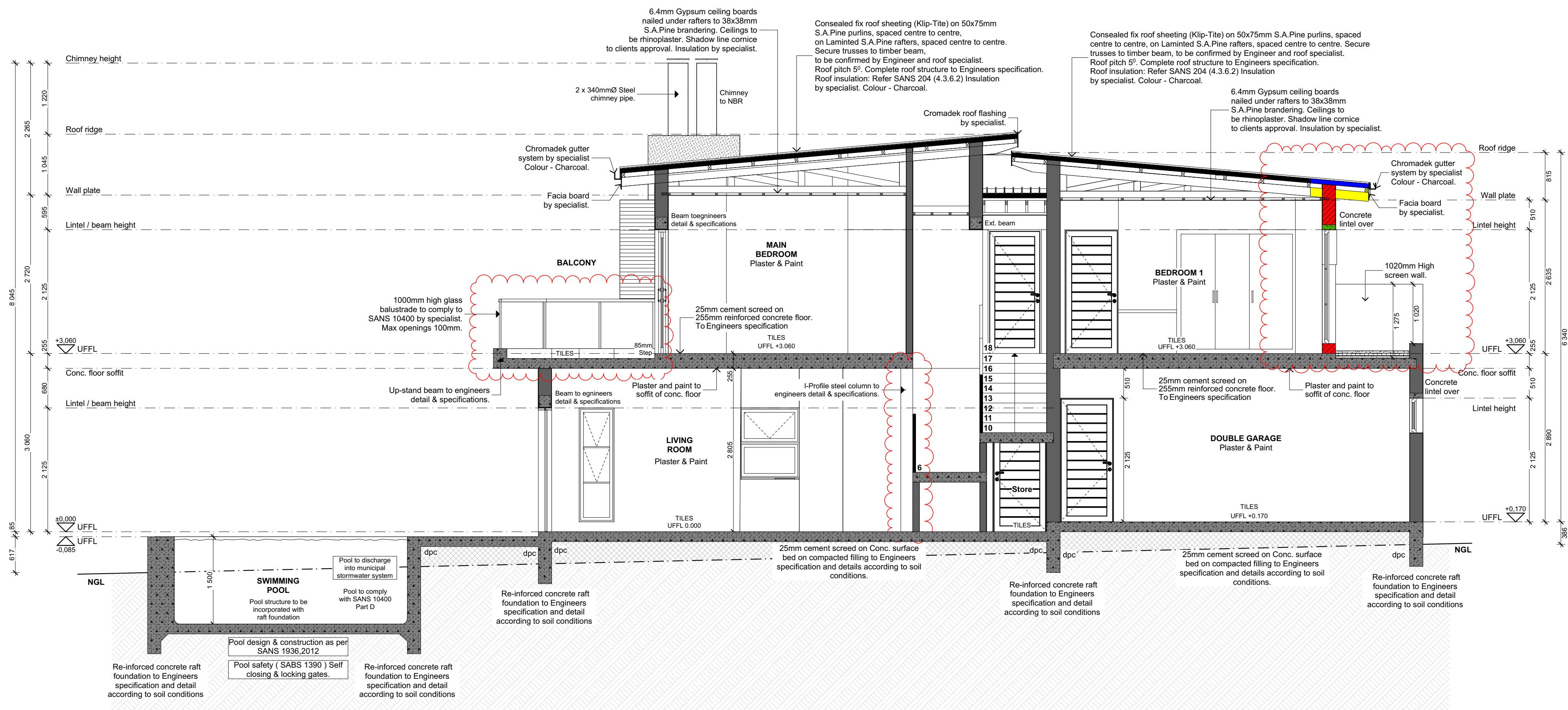
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- Windows: Aluminum - Black (powder coated) Paving - Grey
- Exterior doors: Aluminum doors - Black (powder coated) Roof: Chromadek corrugated roof sheeting Colour - Charcoal. Roof pitch 5°
- Garage doors: Horizontal slated aluminum door - Black (powder coated) Steel handrail: 1000mm high, 100mm max openings to NBR. To Architect detail.

Screen wall:
Scully door & Servants room to be 1.8m from top of FFL

Roof Stormwater Drainage:
100mm Ø Fullbore outlets with 110mm Ø downpipes in ducts by specialist.
Water spouts & overflow outlets as indicated & to be confirmed on site. By specialist.



SECTION B-B SCALE 1:50

Levels to be checked and confirmed on site prior to any construction work

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Max 850mm above NGL.

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Fire place to comply in term of SANS 10400

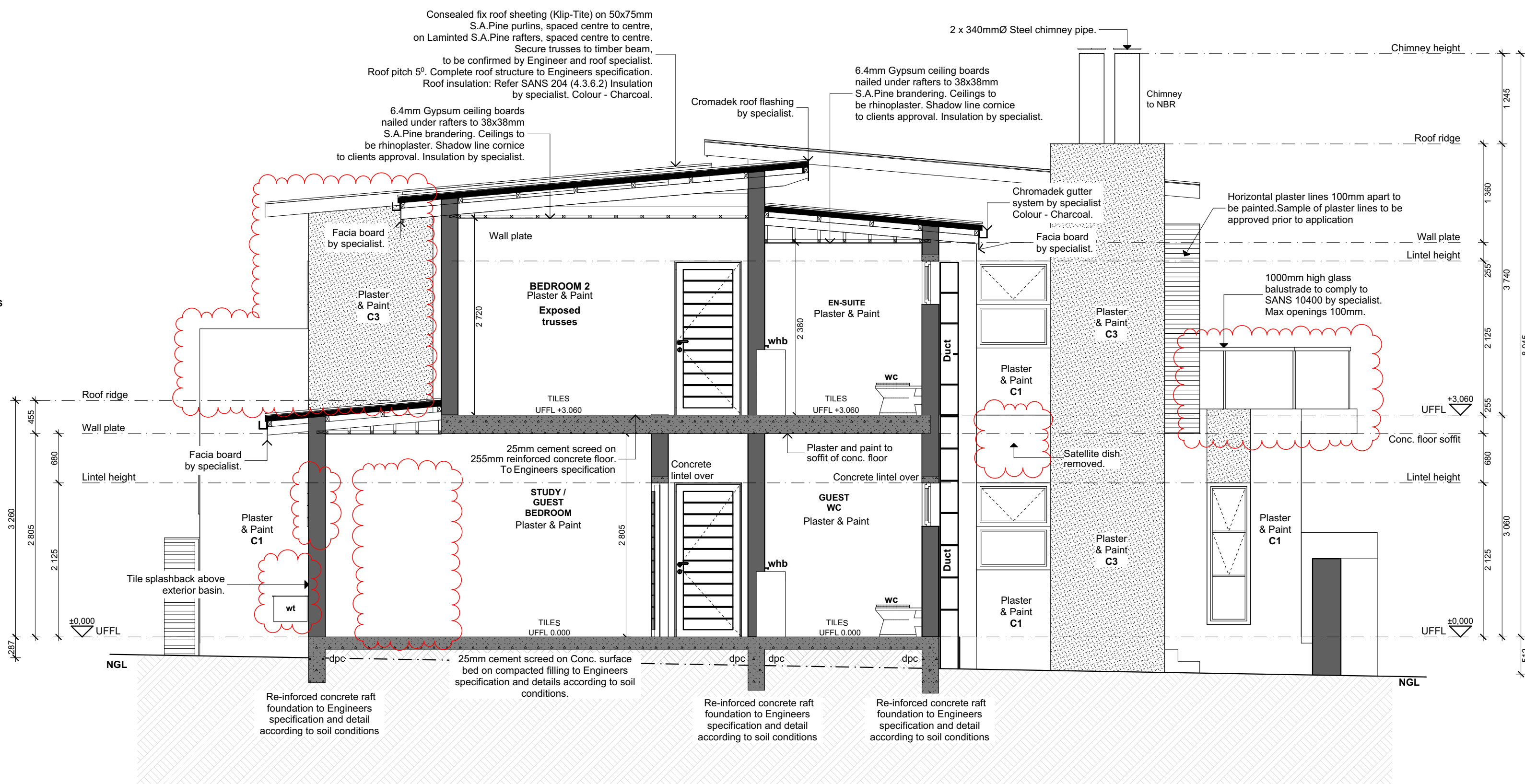
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- Exterior doors: Aluminum doors - Black (powder coated) Roof: Chromadek corrugated roof sheeting Colour - Charcoal. Roof pitch 5°
- Garage doors: Horizontal slated aluminum door - Black (powder coated) Steel handrail: 1000mm high, 100mm max openings to NBR. To Architect detail.

Screen wall:
Scully door & Servants room to be 1.8m from top of FFL

Roof Stormwater Drainage:
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Water spouts & overflow outlets as indicated & to be confirmed on site. By specialist.



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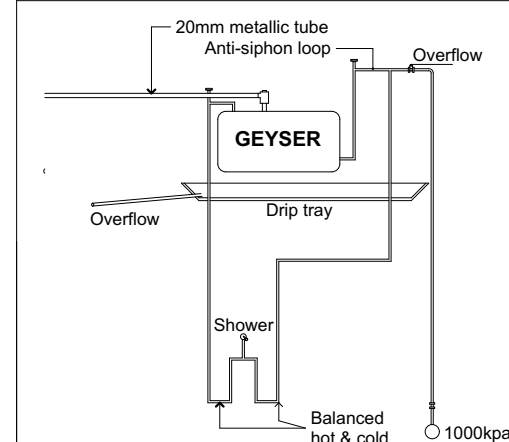
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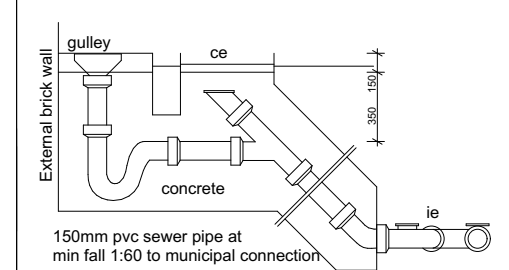
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GEYSER DETAIL



GULLEY DETAIL

SACAP No: PSAT 20684

Voguel
Lifestyle Architecture.

Johan Deetlefs

The Grit Office Space
11 Hazelwood Road
1st Floor, Office 2
Pretoria
0081

c: (+27)82 290 5556
e: johan@voguel.co.za

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Client:

SkyRock Construction

Project:

**Proposed Amendments drawings for
SkyRock Construction,
on Stand 12112,
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Drawing:

Sections

Drawing Status:

HOA	Tender	Construction
Date: 2026/07/05	Drawn: Voguel Arc	Scale: as shown
Project No: DMR 146	Drawing No: 4/4	Revision No: REV 03