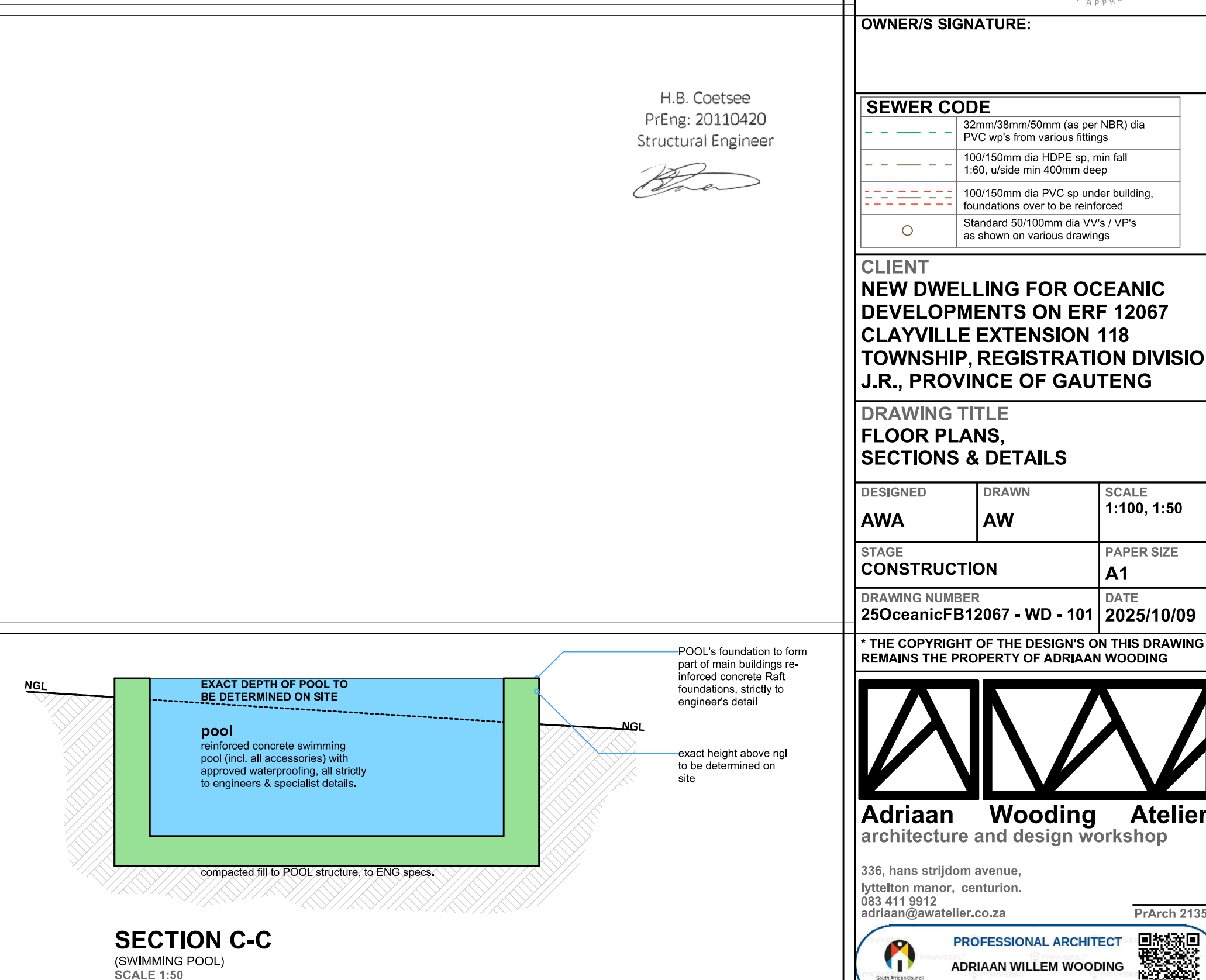
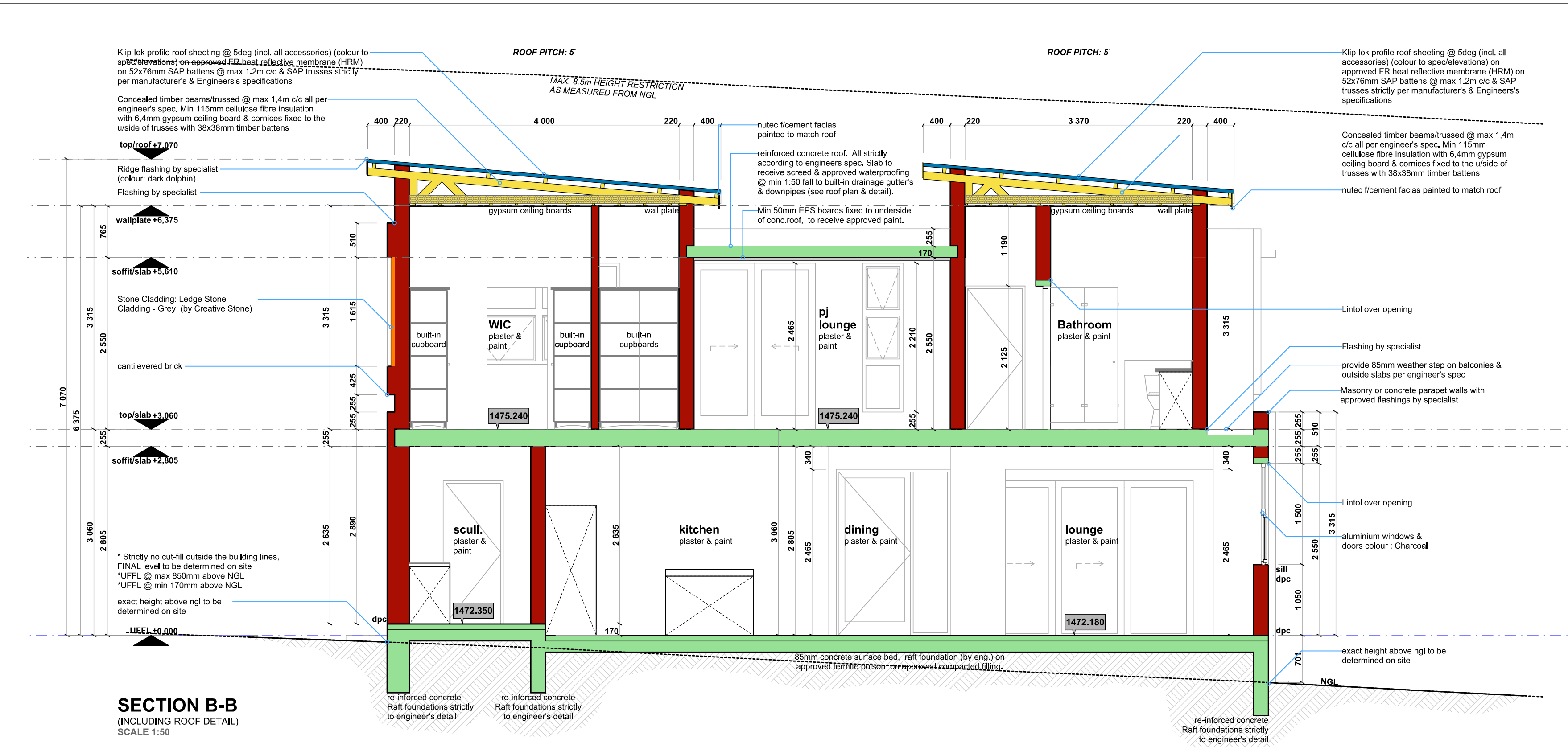
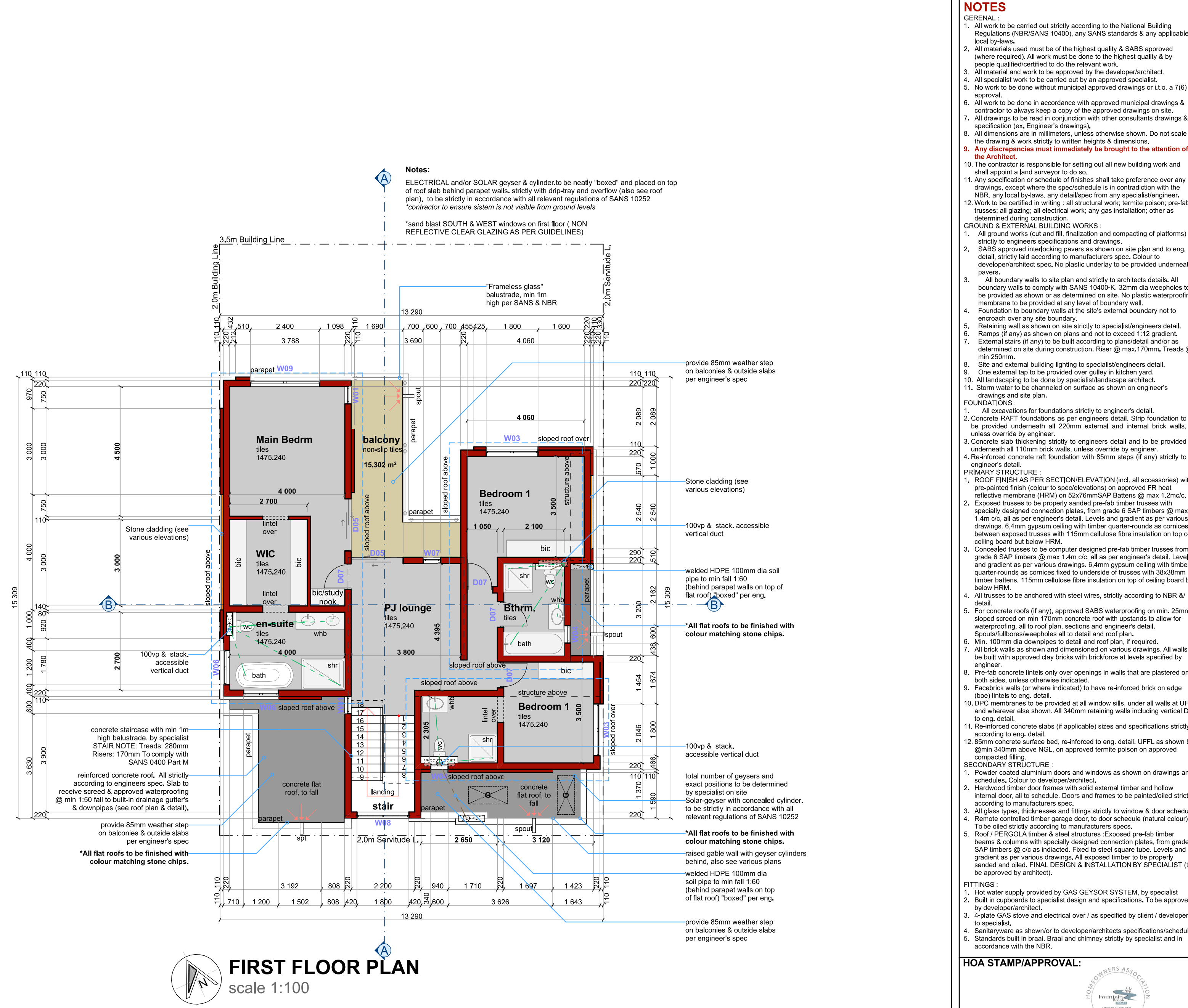
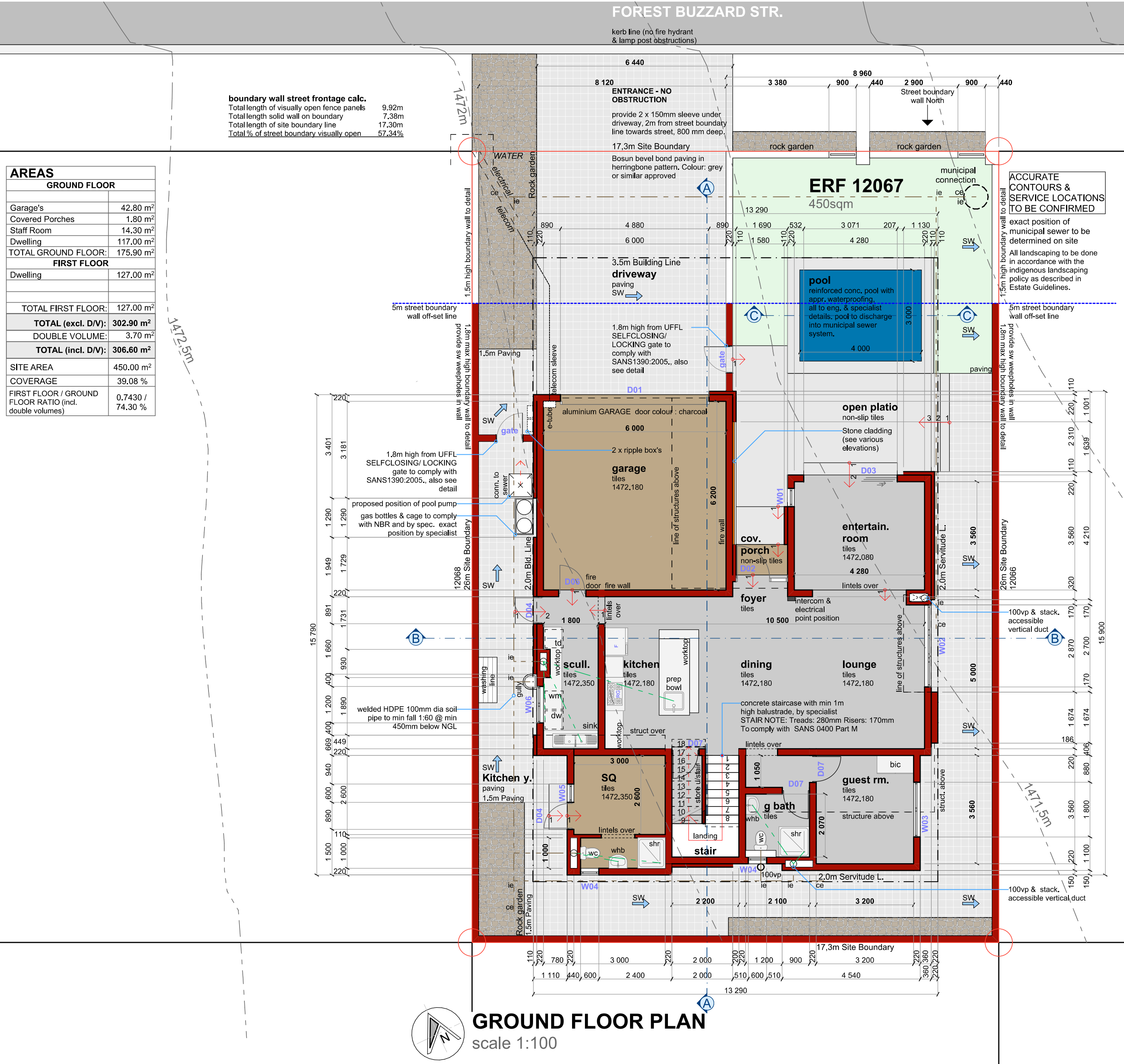


AREAS	
GROUND FLOOR	
Garage/s	42.80 m ²
Covered Porches	1.80 m ²
Staff Room	14.30 m ²
Dwelling	117.00 m ²
TOTAL GROUND FLOOR:	175.90 m²
FIRST FLOOR	
Dwelling	106.00 m ²
TOTAL FIRST FLOOR:	127.00 m²
TOTAL (excl. D/V):	302.90 m²
DOUBLE VOLUME:	3.70 m²
TOTAL (incl. D/V):	306.60 m²
SITE AREA	450.00 m²
COVERAGE	39.08 %
FIRST FLOOR / GROUND FLOOR RATIO (incl. double volumes)	0.7430 / 74.30 %



NOTES

1. To be carried out strictly according to the National Building Regulations (NBR/SANS 10400), any SANS standards & any applicable local by-laws.

2. All work to be carried out must be to the highest quality & SABS approved (where required). All work must be to the highest quality & by the manufacturer specified or to the relevant work.

3. All material and work to be approved by the developer/architect.

4. All specialist work to be carried out by an approved specialist.

5. All work to be carried out in accordance with the drawings, or a 7/6 approval.

6. All work to be done in accordance with approved municipal drawings & contractor to always keep a copy of the approved drawings on site.

7. All drawings to be read in conjunction with other consultants drawings & specifications.

8. All dimensions are in millimetres, unless otherwise shown. Do not scale.

9. All discrepancies must immediately be brought to the attention of the Architect.

10. The Architect is responsible for setting out all new building work and shall appoint a land surveyor for this purpose.

11. All drawings and specifications shall take preference over verbal drawings, except where the specifications is in contradiction with the NBR, any local by-laws, any detail specified by any specialist/engineer, or any other applicable standard or code of practice. This includes, but is not limited to, all electrical work, any gas installation, other than as determined on site during construction.

GROUND & EXTERNAL BUILDING WORKS

- 1. All ground works (cut and fill, finalisation and compaction of platforms, etc.) to be engineered and approved by a specialist/engineer.
- 2. SABS approved interlocking paving as shown on site plan and to comply with interlocking manufacturers spec. No plastic underlayment to be provided under interlocking pavement.
- 3. Boundary walls to site plan and strictly to architects details. All boundary walls to comply with SANS 10400-4. 32mm dia weepholes to be provided at 1m centres and 150mm dia weepholes in waterproof membrane to be provided at any level of boundary wall.
- 4. Foundation to boundary walls at the site's external engineer's detail.
- 5. Retaining wall as shown on site strictly to specialist/engineers detail.
- 6. External stairs to be constructed in accordance with SANS 10400-4.
- 7. External stairs (if any) to be built according to plan/detail and/or as determined on site during construction. Riser (if max 170mm, Treads if max 300mm) to be finished to surface to match on site engineer's specification.
- 8. Site and external building lighting to specialist/engineers detail.
- 9. External lighting to be installed in accordance with SANS 10400-4.
- 10. All landscaping to be done by specialist/landscape architect.
- 11. Storm water to be channelled on surface as shown on engineer's specification and on site plan.

FOUNDATIONS

- 1. All foundations to be channelled strictly to engineer's detail.
- 2. Concrete RAFT foundations as per engineers detail. Strip foundation to be provided underneath all 220mm external and internal brick walls, including external and internal walls of all external buildings.
- 3. Concrete slab thickening strictly to engineers detail and to be provided in accordance with interlocking manufacturers spec.
- 4. Re-inforced concrete raft foundation with 35mm steps (if any) strictly to engineer's detail.

PRIMARY STRUCTURE

- 1. **ROOF FINISH AS PER SECTION/ELEVATION** (incl. all accessories) to be provided in accordance with the approved FR net reflective membrane (NBR) as S27x67mm SABS Batten (S 1mm 2mic, Exposed trusses to be properly sealed pre-fab timber trusses with 35mm closed cell foam insulation, 15mm closed cell foam insulation, 14mm clc as per engineer's detail. Levels and gradient as per various roof pitches and as shown on drawings. All roof pitches as shown on drawings exposed trusses with 15mm closed cell foam insulation on top of ceiling board but below HVR.
- 2. All trusses to be properly designed pre-fab timber trusses from grade 6 SABS timbers (if max 1.4m clc as per engineer's detail. Level and gradient as per various roof pitches and as shown on drawings. All roof pitches as shown on drawings exposed trusses with 15mm closed cell foam insulation on top of ceiling board but below HVR.
- 3. All trusses to be anchored with steel wires, strictly according to NBR 550.
- 4. For concrete roofs (if any), approved SABS waterproofing on 22mm SABS waterproofing on min 170mm concrete with upstands to allow for expansion and contraction of concrete.
- 5. Spout/couplings/wires/appliances all detail and roof plan.
- 6. All roof works to be carried out in accordance with SANS 10400-4.
- 7. All brick walls as shown and dimensioned on various drawings. All walls to be built with approved dry bricks with brickwork at levels specified by architect.
- 8. Pre-fab concrete lintels only (over openings) in walls that are plastered on brickwork.
- 9. Fabricated walls (where indicated) to have re-inforced brick on edge (boo) lintels to edge detail.
- 10. All windows to be installed at all window walls, under all walls of UCI and wherever else shown. All 340mm retaining walls including vertical UCI.
- 11. Re-inforced concrete slabs (if applicable) specs and specifications strictly according to engp. detail.
- 12. All concrete to be finished, re-inforced to engp. detail. UFI, as shown (if min 30mm above NGL, on approved termite poison on approved concrete).

SECONDARY STRUCTURE

- 1. Powder coated aluminium doors and windows as shown on drawings and in accordance with the approved manufacturer's specifications.
- 2. Handwood timber door frames with solid external timber and hollow internal timber and frames to be painted/stained to match exterior colour.
- 3. All glass types, thickness and fittings strictly to window & door schedule.
- 4. All glass types, thickness and fittings strictly to window & door schedule. To be tiled strictly according to manufacturers specs.
- 5. Re-inforced concrete beams & columns with specially designed connection plates, from grade 6 SABS timbers (if max 1.4m clc as per engineer's detail. Level and gradient as per various roof pitches and as shown on drawings. All roof pitches as shown on drawings exposed trusses with 15mm closed cell foam insulation on top of ceiling board but below HVR.
- 6. All concrete to be finished, re-inforced to engp. detail. UFI, as shown (if min 30mm above NGL, on approved termite poison on approved concrete).

FITTINGS

- 1. Hot water supply provided by GAS GEYSOR SYSTEM, by specialist.
- 2. Built in cupboards to specialist design and specifications, to be approved by architect.
- 3. 4-gate Gas stove and electrical oven / as specified by client / developer.
- 4. Sanitaryware as shown to/ developer/architects specification and standard.
- 5. Standards built in Brass. Basin and chimney strictly by specialist and as approved by architect.

HOA STAMP/APPROVAL:


 The logo for the Fountain Ranch Homeowners Association is circular. The text "HOMEOWNERS ASSOCIATION" is written in a semi-circle at the top. In the center, there is a stylized graphic of a fountain with water spraying upwards, and the words "Fountain Ranch" are written below it.

OWNER/S SIGNATURE: _____

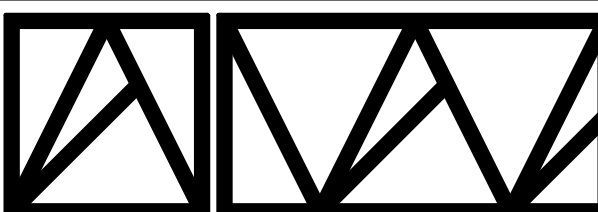
SEWER CODE	
	32mm/38mm/50mm (as per NBR) dia PVC wp's from various fittings
	100/150mm dia HDPE sp, min fall 1:60, u/side min 400mm deep
	100/150mm dia PVC sp under building, foundations over to be reinforced
	Standard 50/100mm dia VV's / VP's as shown on various drawings

CLIENT
NEW DWELLING FOR OCEANIC
DEVELOPMENTS ON ERF 12067
CLAYVILLE EXTENSION 118
TOWNSHIP, REGISTRATION DIVISIO
J.R., PROVINCE OF GAUTENG

DRAWING TITLE
FLOOR PLANS,
SECTIONS & DETAILS

DESIGNED AWA	DRAWN AW	SCALE 1:100, 1:50
STAGE CONSTRUCTION		PAPER SIZE A1
DRAWING NUMBER 250ceanicFB12067 - WD - 101		DATE 2025/10/09

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 **PROFESSIONAL ARCHITECT**
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