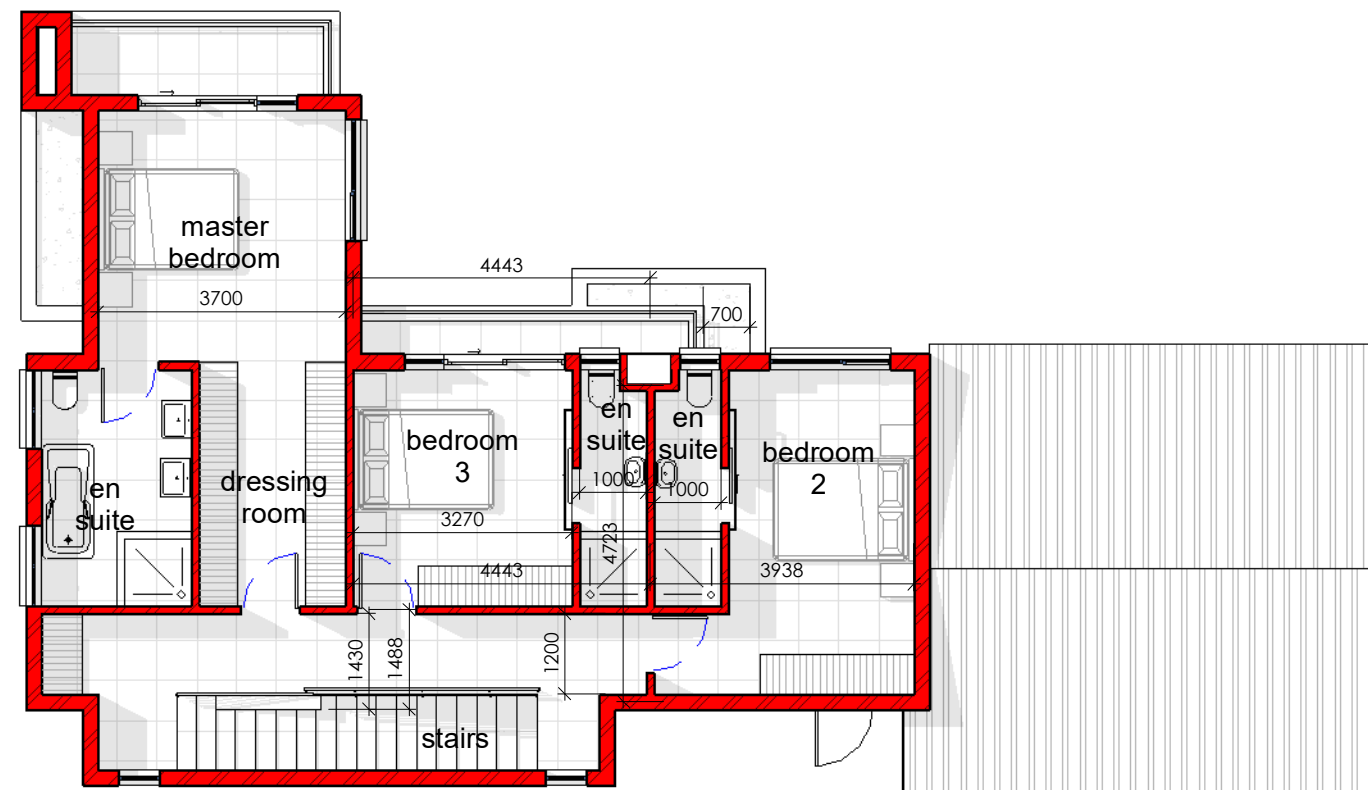
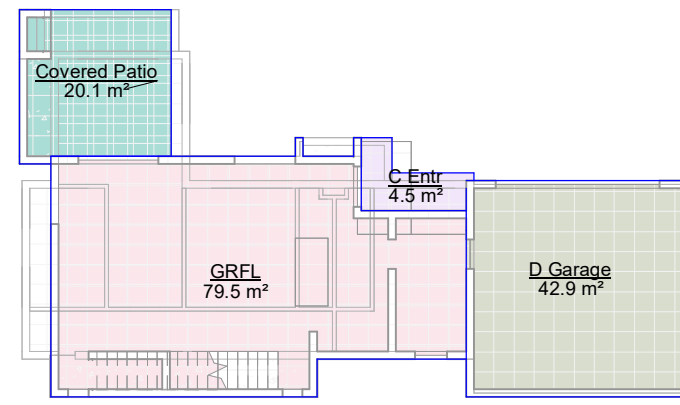


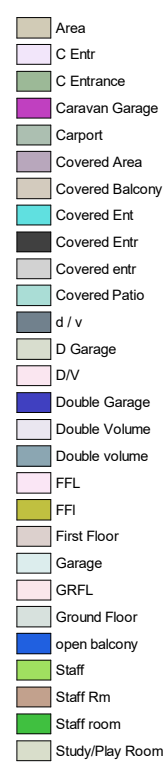
2 First Floor Plan
1 : 100



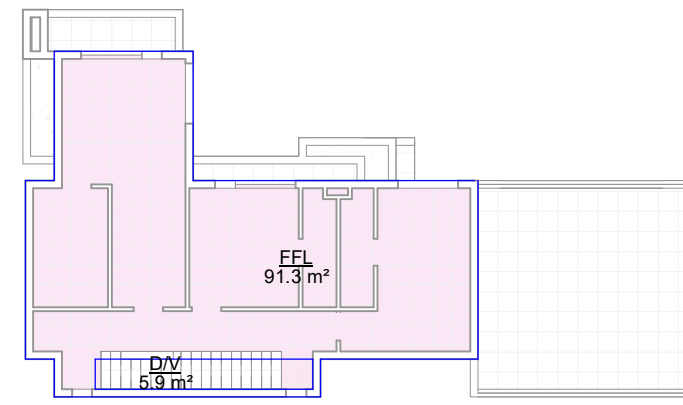
3 01 UFFL
1 : 200



Area Plan



4 02 UFFL
1 : 200



ENERGY EFFICIENCY IN BUILDINGS:
In any building of occupancy classified in terms of Regulation 4.2.0 as 13.1.4.
- The orientation and shading are in accordance with the requirements of SANS 204.
- External walls are in accordance with the requirements of 4.4.3.
- Fenestration is in accordance with the requirements of 4.4.4 (see fenestration calculations).
- Roof assembly construction is in accordance with the requirements of 4.4.5.
- If in-slab heating is installed, it is in accordance with the requirements of 4.4.2.
- Services that use energy or control the use of energy, including heating, air conditioning and mechanical ventilation in accordance with SANS 204.
- Hot water systems in accordance with the requirements of 4.1.

Area Plan



LOCAL MUNICIPALITY NOTES:

STRUCTURAL DESIGN: the structural system of the building to comply with part H, J, K, L, M, N of SANS 10400.

PUBLIC SAFETY: a change in level, the design of ramps and driveways or access to swimming pools and swimming baths is in accordance with the detailed requirements of SANS 10400-D.

EXCAVATIONS: all excavations relating to a building is in accordance with the detailed requirements of SANS 10400-G.

FOUNDATIONS: the foundations for the building is in accordance with SANS 10400-B and the detailed requirements of SANS 10400-H.

FLOORS: floors in any laundry, kitchen, shower room, bathroom or room containing a toilet pan or urinal are in accordance with the detailed requirements of SANS 10400-J.
suspended floors are in accordance with the requirements of SANS 10400-B, SANS 10400-T, SANS 10082, detailed requirements of SANS 10400-J, slabs supported on the ground are in accordance with SANS 10400-B, SANS 10400-H, detailed requirements of SANS 10400-J.

WALLS: the structural strength and stability of a wall is in accordance with SANS 10400-B, SANS 10400-T, detailed requirements of SANS 10400-K, the roof fixing is in accordance with SANS 10400-B, detailed requirements of SANS 10400-K, the water penetration through a wall is in accordance with the detailed requirements of SANS 10400-K.

ROOFS: roof coverings and waterproofing systems are in accordance with the detailed requirements of SANS 10400-L.

flat roofs or related gutters are in accordance with the detailed requirements of SANS 10400-L, roof assembly and any ceiling assembly, in addition to complying with the requirements of SANS 10400-C, are in accordance with the detailed requirements of SANS 10400-L and the roof assembly is supported on walls that comply with the requirements of SANS 10400-K in accordance with SANS 10400-B and SANS 10400-L.
gutters and downpipes, if any, are sized in accordance with the requirements of SANS 10400-R, the fire resistance and combustibility of the roof assembly or any ceiling assembly are in accordance with the detailed requirements of SANS 10400-L and SANS 10400-T.

STAIRWAYS: stairways are in accordance with SANS 10400-B, SANS 10400-T and the detailed requirements of SANS 10400-K, walls, screens, railings or balustrades to such stairway are in accordance with the requirements of SANS 10400-B, SANS 10400-T, SANS 10400-K.

GLAZING: the type and fixing of glazing is in accordance with SANS 10400-B and the detailed requirements of SANS 10400-N, the selection of the glazing is in accordance with the detailed requirements of SANS 10400-N.

LIGHTING AND VENTILATION: the lighting in a habitable room, bathroom, shower room and room containing a toilet pan complies with the requirements of SANS 10400-T and the detailed requirements of SANS 10400-O, the ventilation is in accordance with the requirements of SANS 10400-T and is in accordance with the detailed requirements of SANS 10400-O.

DRAINAGE: the design of the drainage system is in accordance with the detailed requirements of SANS 10400-P.

STORMWATER DISPOSAL: the means for the disposal of stormwater is in accordance with the detailed requirements of SANS 10400-R.

FIRE PROTECTION: the fire protection measures provided are in accordance with the detailed requirements of SANS 10400-T.

FIRE INSTALLATION: the fire installations comply with the detailed requirements of SANS 10400-W.

WINDOW NOTE:
all bath room windows to have obscure glass

WARM WATER SUPPLY:
warm water supply & installation to be according to SANS 204 4.5.2.1, 4.5.2.2, 4.5.2.3, 4.5.2.4 and 4.5.2.5.

SHOWER NOTE:
all showers to have brass traps

SEWER NOTE:
all sewer & down pipes to be concealed in ducts

SEWER NOTE:
all waste pipes to have anti vac traps

Water Heating Note:
Hot water supply to be supplemented at minimum 50% by Heat Pump.

WATER HEATING NOTE:
Hot Water usage to be supplemented by minimum 50% from Solar Heating as per 4.1. of SANS 10400-XA

FLOOR LEVEL NOTE:
finished floor level of ground floor to be max 850mm above natural ground level

WINDOW NOTE:
window frames to be Matt Graphite Grey (RAL 7024)anodised aluminum window frames

STAIR NOTE:
concrete stair case
risers = 170mm
treads = 300mm

DIMENSION NOTE:
All dimensions to be checked on site & finishing to owners specification & satisfaction

FLASHING NOTE:
purpose made galvanised flashing dressed well over first tile contour

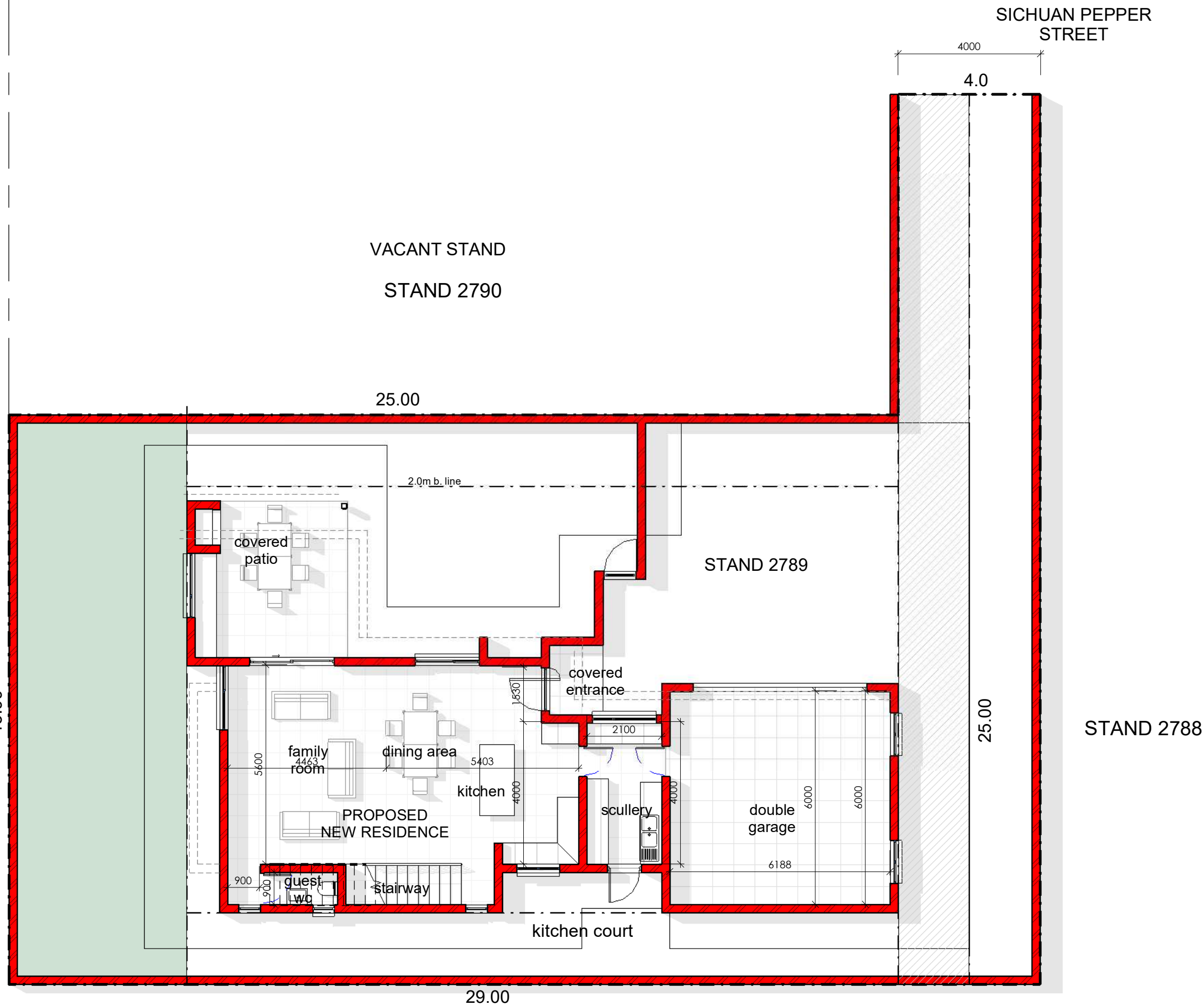
WASHING LINE NOTE:
washing lines are to be installed according to Guidelines (not visible from street)

AESTHETIC NOTE:
all mechanical equipment incl. Satellite Dish & Pool pumps are to be fully concealed according to Guidelines

FLAT ROOF NOTE:
waterproofing not to be visible and roof to receive a layer of stone chip

BALUSTRADE NOTE:
The balustrades are a design and supply contract, and the subcontractor must provide a professional engineers certificate on completion. All shop drawings submitted for approval, need to be first signed off by the subcontractors professional engineer prior to submittal.

GAS NOTE:
Gas installation to comply with SANS 10087



1 Ground Floor Plan
1 : 100

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Revision Schedule		
Revision Number	Revision Description	Revision Date

Soil Conditions:	
Project number	25-09

Proposed new Residence on
Stand 2789 LouwLardia ext
For LMJ Development

floor plans

Sheet no	A101
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Project start	01-2025
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Project issued	16/04/2026 08:27:50
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Designed & drawn by	andre naude / Pr:S.Arch.T.0526 s.a.i.a.t. 30402, cc 94/21151/23
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Scale	As indicated
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All dimensions to be checked on site before any work is put to hand.
Copyright reserved / kopiereg voorbehou.

All work to comply to local municipal by-laws.

Neighbor Stand #:	Neighbor Stand #:
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Signature:	Signature:
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Neighbor Stand #:	Neighbor Stand #:
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Signature:	Signature:
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Architect signature	Client signature
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